

FINISHED FLOOR

FIELD VERIFY

REINFORCED PLASTIC REF.

GYPSUM WALL BOARD

INSIDE DIAMETER

MARKER BOARD

PS., P.S. PROJECTOR SCREEN

ALL METALS-SMALL SCALE

SYMBOLS OF MATERIALS

ACOUSTIC C.M.U.

BATT INSULATION

CAST STONE

MASONRY UNITS

GLASS-LARGE SCALE

MEDICINE CABINET

ACOUSTIC

CENTER LINE

POWER ROOF VENTILATOR

ROOF DRAIN

REFRIGERATOR

ROUGH OPENING

SHOWER HEAD

STAND PIPE SERVICE SINK STAINLESS STEEL

SURFACE MOUNTED

SYNTHETIC FLOOR

TONGUE AND GROOVE

VINYL REDUCER STRIP

PARTICLE BOARD

RIGID INSULATION

STEEL-LARGE SCALE

WOOD-FINISH

WOOD BLOCKING

SHINGLES

TOP OF MASONRY PARAPET TOILET PAPER HOLDER

RUBBER (WALL BASE

FACING TILE

RAIN LEADER

NEW CONSTRUCTION OF

TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION - PHASE 2

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479



ISSUED FOR PERMIT

05.06.2024

DESIGN TEAM

BECKER MORGAN GROUP, INC. WOODS ENGINEERING, P.A. CBHF ENGINEERS, PLLC McGILL ASSOCIATES, P.A. W.M. JORDAN COMPANY

ARCHITECTS

STRUCTURAL ENGINEERS

MECHANICAL AND ELECTRICAL ENGINEERS

CIVIL ENGINEERS

CONSTRUCTION MANAGER

DRAWING KEYS

SIM SECTION ______ 1 SIM ELEVATION A101 SIM DETAILS IN PLAN, SECTION | A101 NEW WALL WALL TYPE, SEE A501 EXISTING WALL TO REMAIN Name ROOM NAME AND NUMBER _____ EXISTING WALL TO BE REMOVED SF-) WINDOW TAG

GENERAL NOTES

- 1. CODES: WORK ON THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES, ORDINANCES, REGULATIONS, STANDARDS, AND ADDITIONAL REQUIREMENTS STATED IN ANY LAW, ORDINANCE, OR REGULATION PERTAINING TO CONSTRUCTION WITHIN THE LIMITS OF THE AUTHORITY HAVING JURISDICTION OVER THE PROPOSED WORK (INCLUDING BUT NOT LIMITED TO: FIRE, ACCESSIBILITY, ZONING, WATER, WASTEWATER, ENVIRONMENTAL, STRUCTURAL, ARCHITECTURAL, HEALTH, FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND ENERGY CONSERVATION).

 2. EGRESS: MEANS OF EGRESS SHALL BE MAINTAINED FOR EXISTING BUILDINGS WHEN THEY ARE OCCUPIED, INCLUDING EXITS, EXIT ACCESS, EXIT DISCHARGE, OTHER EGRESS PATHS. .
- ACCESSIBILITY: BUILDING COMPONENTS, FIXTURES, ACCESSORIES, ETC. SHALL BE INSTALLED WITH MANEUVERING AND OPERATING CLEARANCES, MOUNTING HEIGHTS, ETC. IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT STANDARDS, ICC/ANSI A117.1, AND STATE ACCESSIBILITY CODE.
 FIELD VERIFICATION: THE CONTRACTOR SHALL VERIFY SITE CONDITIONS AND PROPOSED BUILDING DIMENSIONS PRIOR TO CONSTRUCTION. VARIATIONS, DISCREPANCIES, OR FIELD ALTERATIONS TO THESE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION. IF CONTRACTOR COMMENCES CONSTRUCTION WITHOUT NOTIFYING ARCHITECT OF VARIATIONS, DISCREPENCIES, OR FIELD ALTERATIONS, THAT SHALL CONSTITUTE WAIVER TO ANY CLAIM BY CONTRACTOR FOR ADDITIONAL EXPENSES NECESSARY TO PERFORM WORK
- ASSOCIATED WITH THOSE CONDITIONS.

 INSTALLATION: PROPER ASSEMBLY, INSTALLATION, AND OPERATION OF MATERIALS, COMPONENTS, SYSTEMS, AND FINISHES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND APPLICABLE CODES.

 INCIDENTAL WORK: ITEMS NOT SPECIFICALLY SHOWN ON THE DRAWINGS, BUT WHICH ARE REASONABLY INCIDENTAL TO AND NECESSARY FOR THE SATISFACTORY COMPLETION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS,

 ARE INCLUDED WITHIN THE INTENT OF THESE DESIGN DRAWINGS.
- ARE INCLUDED WITHIN THE INTENT OF THESE DESIGN DRAWINGS.

 OWNER-PROVIDED WORK: LOCATION OF OWNER-PROVIDED FIXTURES, EQUIPMENT, ETC. SHALL BE COORDINATED TO ALLOW PROPER ALIGNMENT FOR INSTALLATION AND OPERATION, BLOCKING, ETC.

 SAFETY: JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 9. INSPECTIONS: CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ON-SITE INSPECTIONS REQUIRED PRIOR TO OCCUPANCY APPROVAL.

 10. DIMENSIONS: UNLESS OTHERWISE INDICATED: WALLS ARE TO FACE OF STUD FRAMING AND TO FACE OF MASONRY; WINDOWS AND DOORS ARE TO CENTERLINE OF FIXTURE.

 11. BLOCKING: PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF PORTIONS OF THE WORK AND PER MANUFACTURER'S WRITTEN RECOMMENDATIONS, WHETHER OR NOT SPECIFICALLY INDICATED IN THESE DRAWINGS.

BLOCKING: PROVIDE BLOCKING AS REQUIRED FOR INSTALLATION OF PORTIONS OF THE WORK AND PE
 WINDOWS AND DOORS: WINDOWS AND DOORS ARE INDICATED USING NOMINAL DIMENSIONS.

DRAWING LIST

SHEET No.	SHEET TITLE
GENERAL	
G001	COVER SHEET
G100	BUILDING CODE SUMMARY - BUILDING B
G101	LIFE SAFETY PLAN
CIVIL	
G-002	GENERAL NOTES (CIVIL)
C-101	SITE PLAN
CD-101	PARKING LOT DEMOLITION PLAN
C-102	PARKING LOT PAVING PLAN
C-103	PARKING LOT STRIPING PLAN
C-201	GRADING AND DRAINAGE PLAN
STRUCTURAL	
S1.01	GENERAL NOTES
S1.02 S2.01	TYPICAL DETAILS FOUNDATION PLAN
	ROOF FRAMING PLAN
	SECTIONS AND DETAILS
	SHEAR WALL SECTIONS & DETAILS
ARCHITECTU	RAL
A001	CONSTRUCTION TYPES - EXTERIOR WALLS, SLABS, FLOORS, AND ROOFS
A002	CONSTRUCTION TYPES - WALL TYPES AND DETAILS
A101	OVERALL PLAN
A102	FIRST FLOOR PLAN - AREA PLANS
A103 (A104	~FIRST FLOOR REFLECTED CELLING RLAN ROOF PLAN
A201	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	WALL SECTIONS
EA401	ENLARGED BATHROOM PLAN AND ELEVATION
A501	PLAN DETAILS AND SECTION DETAILS
A502	ROOF DETAILS
A601	FIRST FLOOR FINISH PLANS
A602	SIGNAGE SCHEDULE AND DETAILS
C A603	DOOR AND WINDOW PETALLS AND SCHEDULE
≿ A604 ⊱ A701	DOOR AND WINDOW DETAILS - HEAD, SILL, AND JAMBS INTERIOR ELEVATIONS
William Willia	AND THE RICH CLEVATIONS
FIRE PROTEC	TION
FP101	FIRST FLOOR AREA PLANS - FIRE PROTECTION
C DI LIMBING	
PLUMBING P001	PLUMBING LEGEND, ABBREVIATIONS, GENERAL NOTES
P401	ENLARGED PLUMBING PLANS AND SECTIONS
. P501	PLUMBING DETAILS
P502	WASTE & VENT RISER DIAGRAMS
P503	DOMESTIC WATER RISER DIAGRAMS
P601	PLUMBING SCHEDULES
PG101	NAT. GAS PIPING PLANS AND GAS RISER
PS101	FIRST FLOOR PLAN - WASTE-VENT
PS102	SECOND FLOOR PLAN - WASTE-VENT
PW101	FIRST FLOOR PLAN - DOMESTIC WATER
WEST AND AS	**************************************
MECHANICAL M001	MECHANICAL ABBREVIATIONS, LEGEND, ENERGY & MECH SUMMARIES
MH101	FIRST FLOOR AREA PLANS - HVAC
MH101	FIRST FLOOR AREA PLANS - HVAC FIRST FLOOR AREA PLANS - HVAC RCP AND T-STAT LOC
MH103	ROOF AREA PLANS - HVAC
M501	HVAC DETAILS
M601	MECHANICAL SCHEDULES
M701	MECHANICAL CONTROL DIAGRAMS AND SEQUENCES
ELECTRICAL	
E001	ELECTRICAL SYMBOLS AND ABBREVIATIONS
E002	GENERAL NOTES
E101	ELECTRICAL LOWER POOF POWER PLANS
E102	ELECTRICAL LOWER ROOF POWER PLANS
E201 E501	ELECTRICAL FIRST FLOOR LIGHTING PLANS ELECTRICAL DETAILS
	ELECTRICAL DETAILS ELECTRICAL DETAILS
F502	
E502 E503	FLECTRICAL DETAILS AND LIGHTING FIXTURE SCHEDULE
E503	ELECTRICAL DETAILS AND LIGHTING FIXTURE SCHEDULE ELECTRICAL RISER DIAGRAM
•	
E503 E601	ELECTRICAL RISER DIAGRAM
E503 E601	ELECTRICAL RISER DIAGRAM
E503 E601 E602	ELECTRICAL RISER DIAGRAM

FIRE ALARM SYSTEM LEGEND, NOTES, AND DETAILS



ARCHITECTURE ENGINEERING

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
Maryland
312 West Main St, Suite 300
Salisbury, MD 21801
410.546.9100

309 S Governors Ave
Dover, DE 19904
302.734.7950
The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713
302.369.3700





TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

6330 LAKE PARK DRIVE SE WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339

ISSUED FOR PERMIT

COVER SHEET

Mark Date Description

PROJECT NO: 2022264.01

DATE: 05.06.2024

SCALE: 1" = 1'-0"

DRAWN BY:MMM PROJ MGR: JPB

G001

	BUILDING COI	DE SUMMARY	
NAME OF PROJECT: TOWN CREEK ELEMENTARY SCHOOL ADDITION - PHASE 2 BUILDING B (BUILDING ADDITION)		ACCESSIBLE DWELLING UNITS (SECTION 1107)	STRUCTURAL DESIGN SEE STRUCTURAL DRAWINGS
ADDRESS: 6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479	STORY DESCRIPTION BLDG AREA TABLE 506.24 AREA (C) (D) AREA FOR ALLOWABLE AREA	TOTAL ACCESSIBLE ACCESSIBLE TYPE A TYPE B TYPE B TOTAL	DESIGN LOADS:
OWNER OR AUTHORIZED AGENT: BRUNSWICK COUNTY SHOOLS PHONE #: E-Mail: OWNED BY: City State Private	NO. AND USE PER STORY UNSPRINKLERED SPRINKLERED FRONTAGE UNLIMITED	UNITS UNITS UNITS UNITS UNITS UNITS UNITS UNITS ACCESSIBLE REQUIRED PROVIDED REQUIRED PROVIDED UNITS PROVIDED	IMPORTANCE FACTORS: SNOW (Is)1.0 SEISMIC (Ie)1.0
CODE ENFORCEMENT JURISDICTION: City County State	1 ADDITION - BLDG B 18,510 58,000 8,700 66,700		
OOUTA OT			LIVE LOADS: ROOF 20 PSF MEZZANINE 60 PSF
CONTACT:		ACCESSIBLE PARKING (SECTION 1106) SEE CIVIL DRAWINGS	FLOOR 100 PSF
ARCHITECTURAL BECKER MORGAN GROUP ERNEST OLDS, AIA 10595 910.341.7600 eolds@beckermorgan.com	 FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS: A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FT MINIMUM WIDTH 512 (F) 	LOT OR TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED TOTAL #	GROUND SNOW LOAD:10 PSF WIND LOAD: ULTIMATE WIND SPEED155 MPH (ASCE-7-16)
CIVIL MCGILL ASSOCIATES MICHAEL NORTON, PE 025856 910.755.5872 michael.norton@mcgillassociates.com ELECTRICAL CBHF ENGINEERS DUNCAN MCFADYEN, PE 8433 910.791.4000 dmcfadyen@cbhfengineers.com	C. RATIO (F/P) = $.85$ (F/P)	PARKING AREA REQUIRED PROVIDED REGULAR WITH VAN SPACES WITH PROVIDED PROVIDED	WIND LOAD: ULTIMATE WIND SPEED 155 MPH (ASCE-7-16) EXPOSURE CATEGORY C
FIRE ALARM CBHF ENGINEERS DUNCAN MCFADYEN, PE 8433 910.791.4000 dmcfadyen@cbhfengineers.com PLUMBING CBHF ENGINEERS DAVID HAHN, PE 23551 910.791.4000 dhahn@cbhfengineers.com	D. W = MINIMÚM WIDTH OF PÚBLIC WAY = 30' (W) (do not exceed 30) E. PERCENT OF FRONTAGE INCREASE I _f = 100 [F/P - 0.25] x W/30 = 60 (%)	AISLE AISLE	SEISMIC DESIGN CATEGORY: A B B C D PROVIDE THE FOLLOWING SEISMIC DESIGN PARAMETERS:
MECHANICAL CBHF ENGINEERS DAVID HAHN, PE 23551 910.791.4000 dhahn@cbhfengineers.com SPRINKLER-STANDPIPE CBHF ENGINEERS DAVID HAHN, PE 23551 910.791.4000 dhahn@cbhfengineers.com	 UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTION 507. MAXIMUM BUILDING AREA = TOTAL NUMBER OF STORIES IN THE BUILDING x D (MAXIMUM 3 STORIES) (506.2) THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH 406.5.4. 	TOTAL	RISK CATEGORY (TABLE 1604.5) I II III III IV
STRUCTURAL WOODS ENGINEERING ADAM SISK, PE 041563 910.343.8007 adam@woodseng.com RETAINING WALL >5' HIGH	5. FRONTAGE INCREASE IS BASED ON THE UNSPRINKLERED AREA VALUE IN TABLE 506.2	TOTAL	SPECTRAL RESPONSE ACCELERATION S_s 151%g S_1 067%g SITE CLASSIFICATION (ASCE 7) \square A \square B \square C \blacksquare D \square E \square F
OTHER			SITE CLASSIFICATION (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F DATA SOURCE: ☐ FIELD TEST ☐ PRESUMPTIVE
2018 NC BUILDING CODE:	ALLOWABLE HEIGHT:	PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1 & 2902.9)	BASIC STRUCTURAL SYSTEM: BEARING WALL DUAL W/ SPECIAL MOMENT FRAME BUILDING FRAME DUAL W/ INTERMEDIATE R/C OR SPECIAL STEEL
New Building ■ Addition □ Renovation □ 1st Time Interior Completion	ALLOWABLE SHOWN ON PLANS CODE REFERENCE (TABLES 504.3 & 504.4)	USE WATERCLOSETS URINALS LAVATORIES SHOWERS DRINKING FOUNTAINS MALE FEMALE UNISEX MALE FEMALE UNISEX / TUBS REGULAR ACCESSIBLE	■ MOMENT FRAME □ INVERTED PENDULUM
☐ Phased Construction - Shell/Core ☐ Shell/Core 2018 NC EXISTING BUILDING CODE: ☐ Prescriptive ☐ Repair ☐ Chapter 14	BUILDING HEIGHT IN FEET (Table 504.3) 75' 28' TABLE 504.3	EXIST'G 3 5 - 2 5 5 2 1 NEW 3 5 0 2 5 5 1 1 1	ANALYSIS PROCEDURE: SIMPLIFIED EQUIVALENT LATERAL FORCE DYNAMIC
2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14 Alteration: Alteration Level I Alteration Level II Alteration Level III	BUILDING HEIGHT IN STORIES (Table 504.4) 3 1 TABLE 503.4 1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.	REQ'D 6 10 0 4 10 10 - 3 2	ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED? YES NO
☐ Historic Property ☐ Change of Use	 Provide code reference if the Shown on Plans quantity is not based on Table 504.3 or 504.4. The maximum height of air traffic control tower must comply with Table 412.3.1. The maximum height of open parking garages must comply with Table 406.5.4. 	Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)	LATERAL DESIGN CONTROL: EARTHQUAKE WIND
CONSTRUCTED: CURRENT OCCUPANCY(S) (Ch. 3)		EXEMPT FROM DOI REVIEW (LOCAL FIRE MARSHAL) DPI REVIEW REQUIRED	SOIL BEARING CAPACITIES: FIELD TEST (PROVIDE COPY OF TEST REPORT) N/A PSF
RENOVATED: PROPOSED OCCUPANCY(S) (Ch. 3)	FIRE PROTECTION REQUIREMENTS:	LOCAL FIRE MARSHAL, BUILDING OFFICIAL	PRESUMPTIVE BEARING CAPACITY 2,000 PSF
RISK CATEGORY (Table 1604.5): CURRENT N/A I II III III IV PROPOSED N/A I III III IV	BUILDING ELEMENT FIRE SEPARATION REQ'D PROVIDED* DETAIL # DESIGN # FOR DESIGN # FOR RATED # FOR	ENERGY SUMMARY	PILE SIZE, TYPE AND CAPACITYN/A PSF
	DISTANCE (W/ REDUCTION) SHEET # RATED PENETRATION RATED ASSEMBLY JOINTS	ENERGY REQUIREMENTS:	MECHANICAL SUMMARY SEE MECHANICAL DRAWINGS
BASIC BUILDING DATA:	Structural Frame including columns, girders, trusses 10' <x<30' 0="" a="" a<="" n="" td=""><td>THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE NORTH CAROLINA ENERGY CONSERVATION CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH</td><td>MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT</td></x<30'>	THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE NORTH CAROLINA ENERGY CONSERVATION CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH	MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
CONSTRUCTION TYPE: ☐ I-A ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☐ V-B	Bearing Walls - <	THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF PERFORMANCE METHOD, STATE THE ANNUAL ENERGY COST FOR THE STANDARD REFERENCE DESIGN VS ANNUAL ENERGY	THERMAL ZONE WINTER DRY BULB
SPRINKLERS: □ NO ■YES □ PARTIAL ■ NFPA 13 □ NFPA 13R □ NFPA 13D	North 0 0	COST FOR THE PROPOSED DESIGN. EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: YES (the remiander of this section is not applicable)	SUMMER DRY BULB
STANDPIPES: NO YES CLASS I CLASS II CLASS III WET DRY	East 2 2 - - - - West 0 0 - - - - -	■ NO	INTERIOR DESIGN CONDITIONS
PRIMARY FIRE DISTRICT: ☐ NO ☐ YES FLOOD HAZARD AREA: ☐ NO ☐ YES	South 0 0 - - - - Interior 0 0 - - - - -	EXEMPT BUILDING: YES Provide code or statutory reference:	WINTER DRY BULB SUMMER DRY BULB RELATIVE HUMIDITY
SPECIAL INSPECTIONS: NO YES	Nonbearing Walls and Partitions	NO	BUILDING HEATING LOAD
GROSS BUILDING AREA TABLE:	Exterior N/A - - - - - North -	CLIMATE ZONE: 3A	BUILDING COOLING LOAD
FLOOR EXISTING (SQ. FT.) NEW (SQ. FT.) RENO/ALTER (SQ. FT.) SUB-TOTAL	East	METHOD OF COMPLIANCE:	MECHANICAL SPACING CONDITIONING SYSTEM
6TH FLOOR	West -	PRESCRIPTIVE (ENERGY CODE) PERFORMANCE (ENERGY CODE)	UNITARY DESCRIPTION OF UNIT
5TH FLOOR 4TH FLOOR	Interior walls and partitions	☐ PRESCRIPTIVE (ASHRAE 90.1)☐ PERFORMANCE (ASHRAE 90.1)	HEATING EFFICIENCY COOLING EFFICIENCY
3RD FLOOR	supporting beams and joists N/A Floor Ceiling Assembly N/A	PERFORMANCE (OTHER)	SIZE CATEGORY OF UNIT BOILER
2ND FLOOR	Columns Supporting Floors N/A	If 'Other' specify source here:	SIZE CATEGORY, IF OVERSIZED, STATE REASON
MEZZANINE 18T FLOOR 40 400 40 400 40 400 400 40 540	Roof Construction, including supporting beams and joists 0 0	THERMAL ENVELOPE (Prescriptive method only)	CHILLER SIZE CATEGORY, IF OVERSIZED, STATE REASON
<u>1ST FLOOR</u> 10,160 8,350 18,510 BASEMENT	Roof Ceiling Assembly 0 0 - - - - - - Columns Supporting Roof 0 0 - - - - - -	ROOF/CEILING ASSEMBLY (each assembly) DESCRIPTION OF ASSEMBLY ROOF OVER RIGID INSULATION OVER METAL DECK	LIST EQUIPMENT EFFICIENCIES:
TOTAL 18,510 18,510	Shaft Enclosures - Exit N/A - <td>U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION R-25 CI</td> <td>ELECTRICAL SUMMARY SEE ELECTRICAL DRAWINGS</td>	U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION R-25 CI	ELECTRICAL SUMMARY SEE ELECTRICAL DRAWINGS
ALLOWABLE AREA:	Corridor Separation 0 0	SKYLIGHTS IN EACH ASSEMBLY U-VALUE OF SKYLIGHT TOTAL SQUARE FOOTAGE OF SKYLIGHTS IN EACH ASSEMBLY	ELECTRICAL SYSTEM AND EQUIPMENT
PRIMARY OCCUPANCY CLASSIFICATION(S): ASSEMBLY A-1 A-2 A-3 A-4 A-5	Occupancy / Fire Barrier Separation N/A - - - - - - - - N/A Party / Fire Wall Separation 2 2 SHEET A001 SHEET A001 A001 A001 A001 A001 A001 A001 A00	EXTERIOR WALLS (each assembly) BRICK VENEER W/2" AIR, FOAM INSULATION, SHEATHING, 6" METAL STUDS	METHOD OF COMPLIANCE:
BUSINESS	Smoke Barrier Separation N/A - - - - Tenant / Dwelling Unit / Sleeping Separation N/A - - - -	DESCRIPTION OF ASSEMBLY U-VALUE OF TOTAL ASSEMBLY	ENERGY CODE: PRESCRIPTIVE PERFORMANCE ASHRAE 90.1: PRESCRIPTIVE PERFORMANCE
EDUCATIONAL	Incidental Use Separation N/A	R-VALUE OF INSULATION R-13+R-7.5 CI REQUIRED; R-19+R-12 CI PROVIDED OPENINGS (windows or doors with glazing)	LIGHTING SCHEDULE
FACTORY F-1 MODERATE F-2 LOW HAZARDOUS H-1 DETONATE H-2 DEFLAGRATE H-3 COMBUST H-4 HEALTH H-5 H		U-VÀLUE OF ASSEMBLY 0.45 STOREFRONT WINDOW/FRAMING; .77 ENTRANCE DOU SOLAR HEAT GAIN COEFFICIENT 0.33	 LAMP TYPE REQUIRED IN FIXTURE NUMBER OF LAMPS IN FIXTURE
INSTITUTIONAL I-1 CONDITION I 2	HPMPERCENTAGE OF WALL OPENING CALCULATIONS:	PROJECTION FACTOR 0.25 <pf<0.5< th=""> DOOR R-VALUES R-7</pf<0.5<>	 BALLAST TYPE USED IN THE FIXTURE TOTAL WATTAGE PER FIXTURE
☐ I-2 CONDITION ☐ 1 ☐ 2	FIRE SEPARATION DISTANCE DEGREE OF OPENINGS ALLOWABLE AREA ACTUAL SHOWN ON PLANS (FEET) FROM PROPERTY LINES PROTECTION (%)	WALLS BELOW GRADE (each assembly) DESCRIPTION OF ASSEMBLY N/A	 TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED (whole building or space by space) TOTAL EXTERIOR WATTAGE SPECIFIED VS ALLOWED
☐ I-3 CONDITION ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5 ☐ I-4	(TABLE 705.8) 10' to <15' UP, S 45% 0	U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION -	ADDITIONAL PRESCRIPTIVE COMPLIANCE
MERCANTILE	15' to <20' UP, S 75% <10%	FLOORS OVER UNCONDITIONED SPACE (each assembly)	C406.2 MORE EFFICIENT HVAC EQUIPMENT PERFORMANCE
RESIDENTIAL R-1 R-2 R-3 R-4	20' to <25' UP, S NO LIMIT -	DESCRIPTION OF ASSEMBLY U-VALUE OF TOTAL ASSEMBLY	C406.3 REDUCED LIGHTING POWER DENSITY
STORAGE S-1 MODERATE S-2 LOW S-3 HIGH-PILED PARKING GARAGE OPEN ENCLOSED REPAIR GARAGE	LIFE SAFETY SYSTEM REQUIREMENTS:	R-VALUE OF INSULATION -	C406.4 ENHANCED DIGITAL LIGHTING CONTROLS
☐ PARKING GARAGE ☐ OPEN ☐ ENCLOSED ☐ REPAIR GARAGE UTILITY AND MISCELLANEOUS ☐	EMERGENCY LIGHTING: NO YES	FLOORS SLAB ON GRADE (each assembly) DESCRIPTION OF ASSEMBLY CONCRETE SLAB ON GRADE	C406.5 ON-SITE RENEWABLE ENERGY
	EXIT SIGNS: NO YES FIRE ALARM: NO YES VOICE EVACUATION REQUIRED IN ADDITION MOVE DETECTION SYSTEMS: NO YES DARTIAL	U-VALUE OF TOTAL ASSEMBLY R-VALUE OF INSULATION HORIZONTAL / VERTICAL REQUIREMENT NOT REQUIRED	C406.6 DEDICATED OUTDOOR AIR SYSTEM
ACCESSORY OCCUPANCY CLASSIFICATION(S): N/A INCIDENTAL USES (Table 509): N/A	SMOKE DETECTION SYSTEMS: NO YES PARTIAL CARBON MONOXIDE DETECTION: NO YES	HORIZONTAL / VERTICAL REQUIREMENT NOT REQUIRED SLAB HEATED NOT REQUIRED N/A	C406.7 REDUCED ENERGY USE IN SERVICE WATER HEATING
SPECIAL USES (Chapter 4 - List Code Sections): N/A	LIFE SAFETY PLAN REQUIREMENTS:	ADDITIONAL CODE CUMMADV.	
SPECIAL Provisions (Chapter 5 - List Code Sections): N/A //IXED OCCUPANCY: NO YES SEPARATION: HR. EXCEPTION:	LIFE SAFETY PLAN REQUIREMENTS. LIFE SAFETY PLAN SHEET # G101	ADDITIONAL CODE SUMMARY:	
MIXED OCCUPANCY: NO YES SEPARATION: HR. EXCEPTION:	FIRE AND/OR SMOKE RATED WALL LOCATIONS (Chapter 7)		
Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the	 ASSUMED AND REAL PROPERTY LINE LOCATIONS (if not on the site plan) EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8) OCCUPANCY TYPES FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2) 		
sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1 ACTUAL AREA OF OCCUPANCY A ACTUAL AREA OF OCCUPANCY B	 OCCUPANCY TYPES FOR EACH AREA AS IT RELATES TO OCCUPANT LOAD CALCULATION (TABLE 1004.1.2) OCCUPANT LOADS FOR EACH AREA EXIT ACCESS TRAVEL DISTANCES (1017) 		
ALLOWABLE AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B	 EXIT ACCESS TRAVEL DISTANCES (1017) COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1006.3.2(1)) DEAD END LENGTHS (1020.4) 		
+ <u>-</u> <u><</u> 1	 CLEAR EXIT WIDTHS FOR EACH EXIT DOOR MAXIMUM CALCULATED OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON 		
<u> </u>	EGRESS WIDTH (1005.3) • ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR		
	 A SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR / CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION 		
	 LOCATION OF DOORS WITH PANIC HARDWARE (1008.1.10.) LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND THE AMOUNT OF DELAY (1010.1.9.7) 		
	 LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.9) LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES LOCATION OF EMERGENCY ESCAPE WINDOWS (1030) 		
	 LOCATION OF EMERGENCY ESCAPE WINDOWS (1030) THE SQUARE FOOTAGE OF EACH FIRE AREA (202) THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION I-2 (407.5) 		
	 THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT FOR OCCUPANCY CLASSIFICATION 1-2 (407.5) NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS 		

COPYRIGHT © 2023



ARCHITECTURE
ENGINEERING

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
Maryland
312 West Main St, Suite 300

Salisbury, MD 21801
410.546.9100

Delaware
309 S Governors Ave
Dover, DE 19904
302.734.7950

The Tower at STAR Campus
100 Discovery Boulevard, Suite 102

Newark DE 19713

Newark, DE 19713 302.369.3700 www.beckermorgan.com





TOWN CREEK
ELEMENTARY
SCHOOL 2024
ADDITION PHASE 2

PROJECT TITLE

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

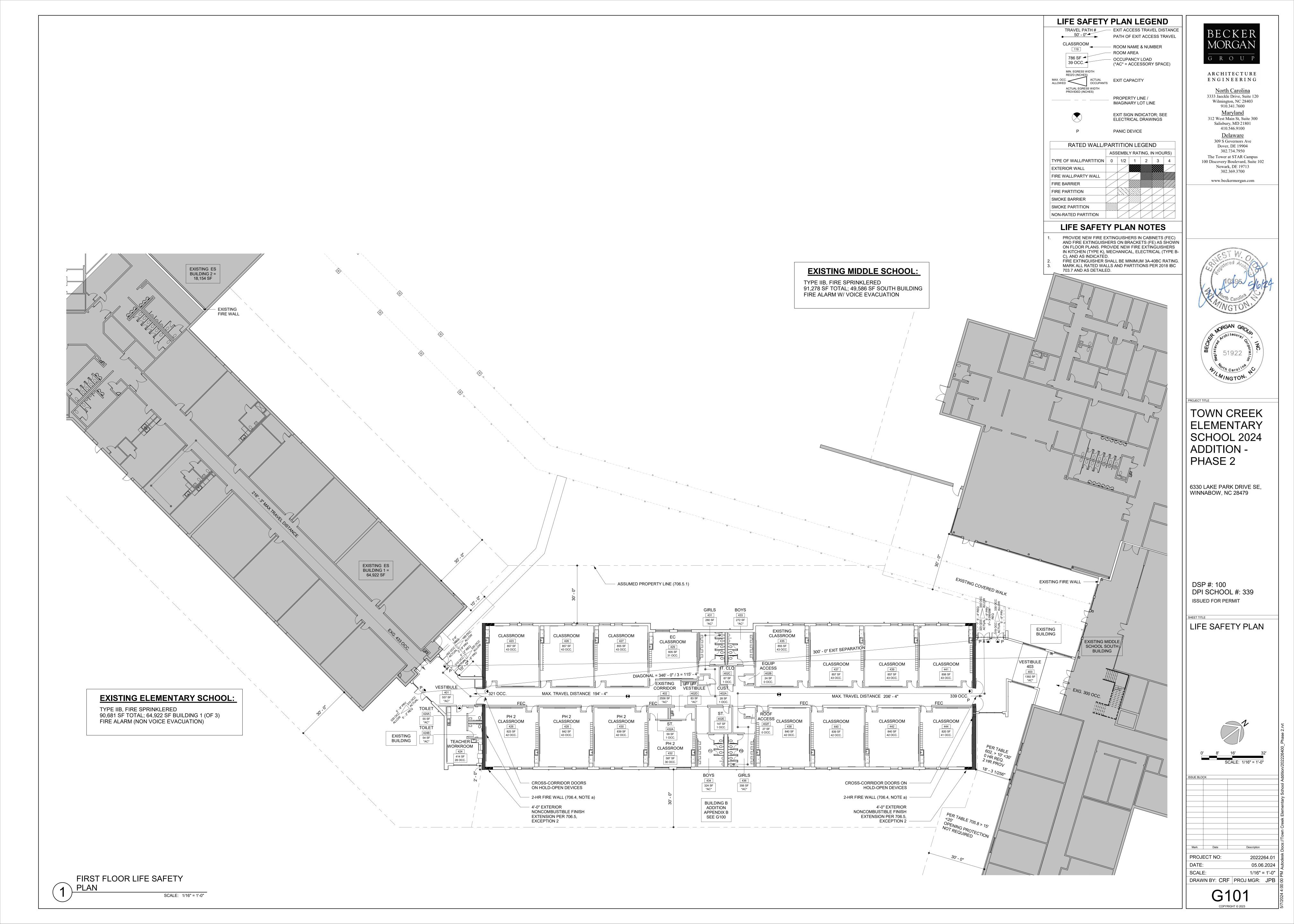
DSP #: 100 DPI SCHOOL #: 339

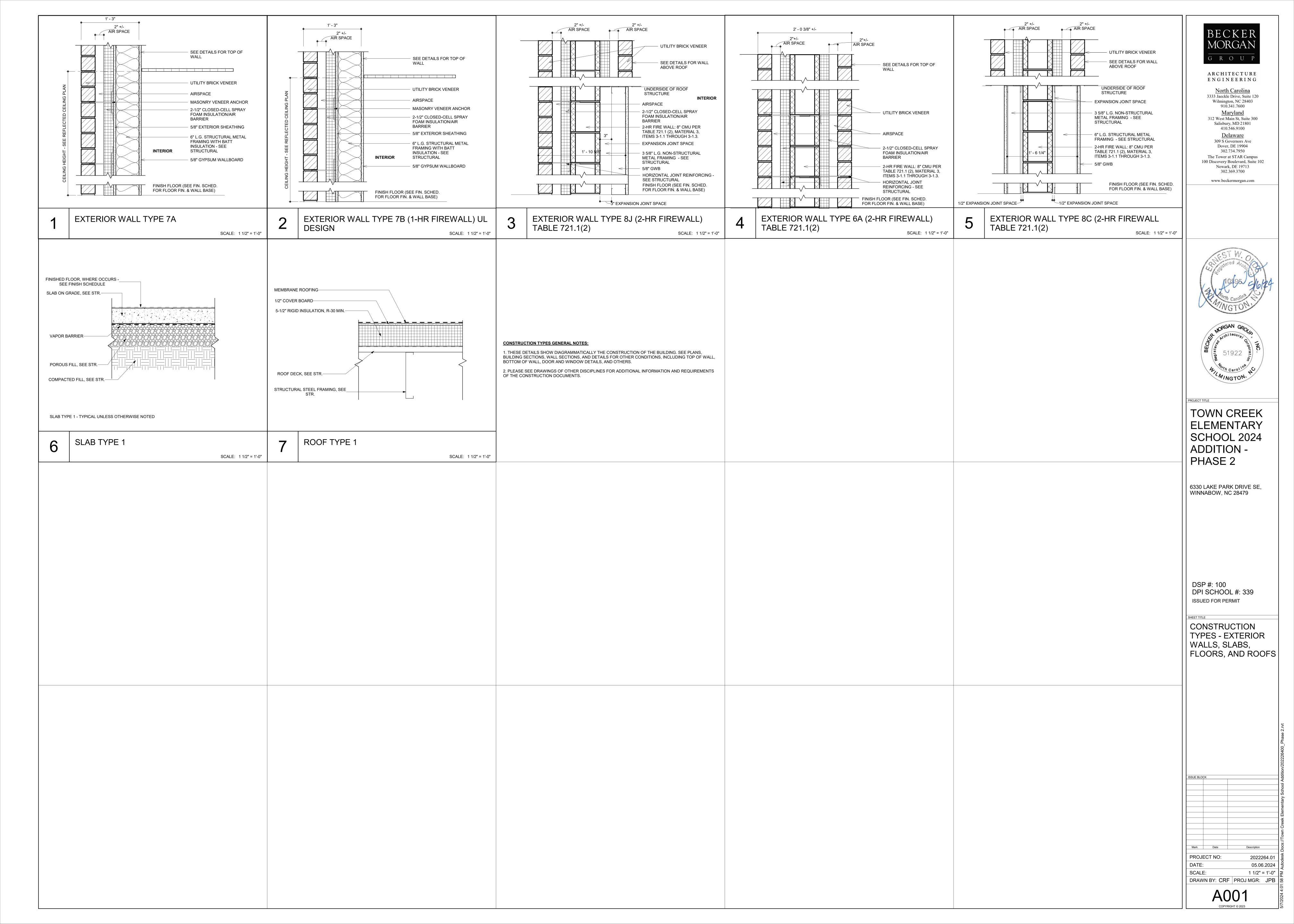
ISSUED FOR PERMIT

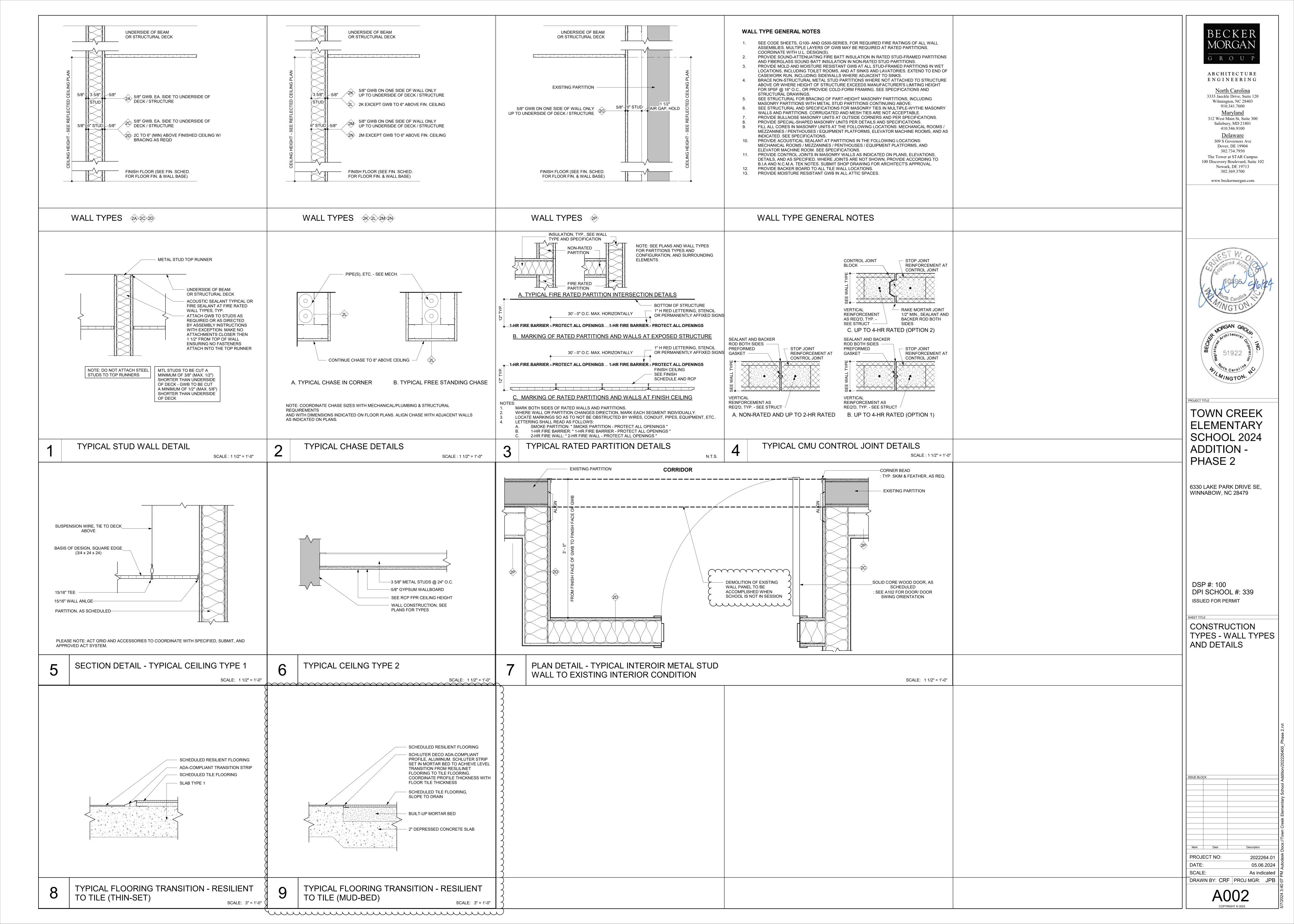
BUILDING CODE SUMMARY - BUILDING B

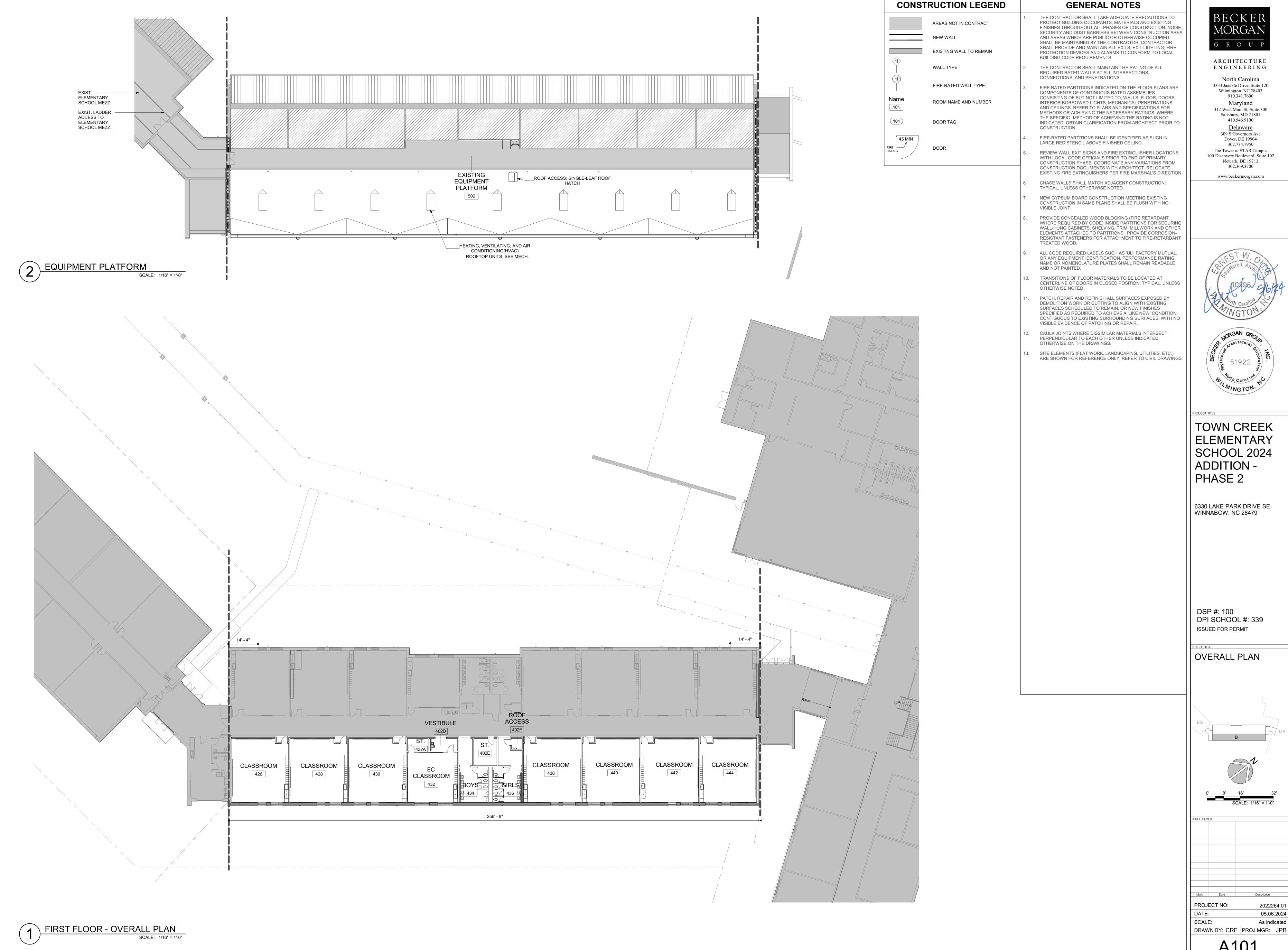
ISSUE BLO	CK							
Mark	Date	Description						
PROJ	ECT NO:	202226	4.01					
DATE	•	05.06.2024						
SCALI	E:	1 1/2" = 1'-0"						
DRAW	/N BY: CRF	PROJ MGR:	JPB					

G100
COPYRIGHT © 2023









G R O U I

ARCHITECTURE ENGINEERING

North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 **Maryland** 312 West Main St, Suite 300 Salisbury, MD 21801

<u>Delaware</u> 309 S Governors Ave Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713

410.546.9100

302.369.3700 www.beckermorgan.com

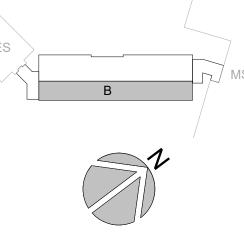


TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

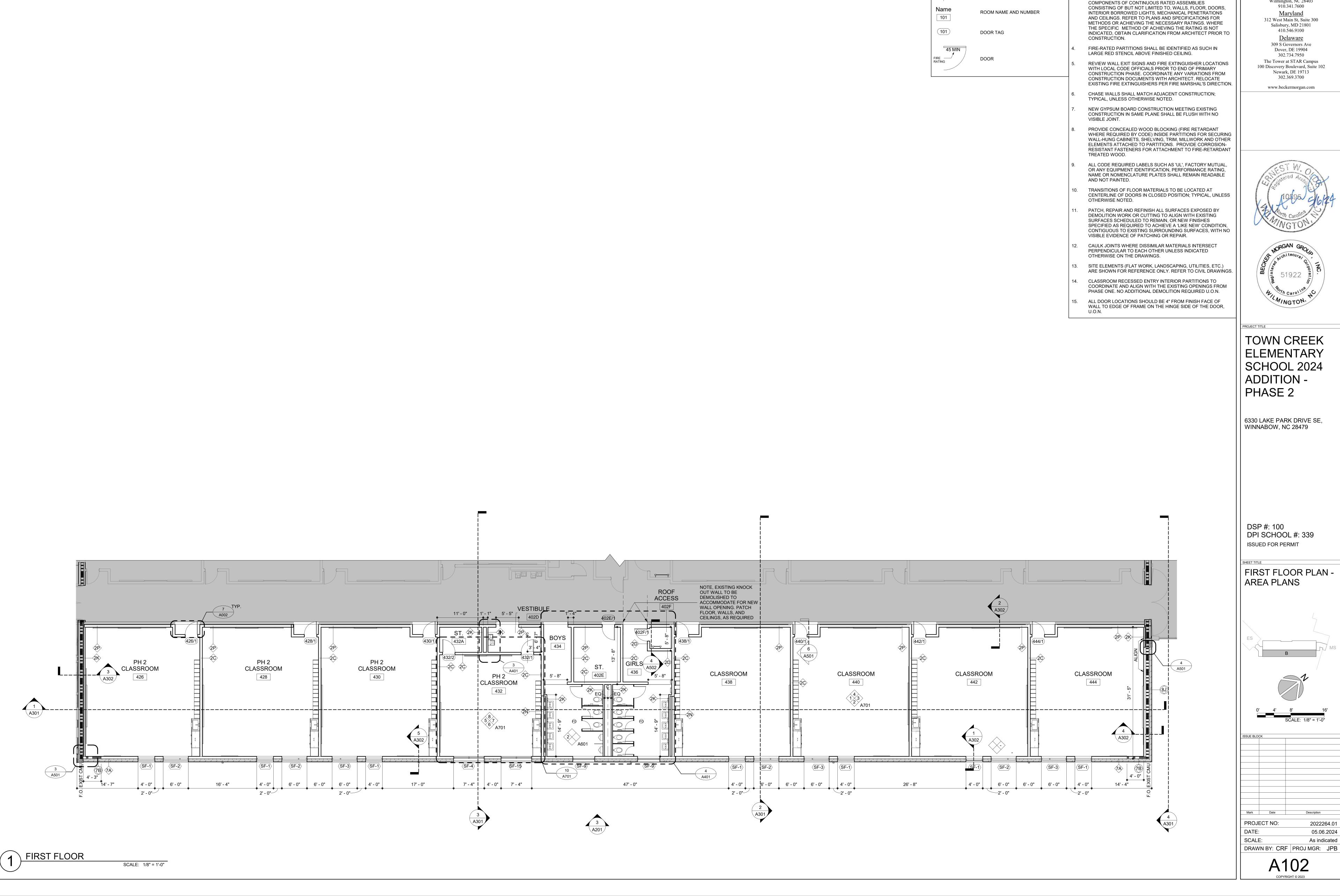
6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

OVERALL PLAN



As indicated



FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY AND DUST BARRIERS BETWEEN CONSTRUCTION AREA G R O U I

GENERAL NOTES

THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS AND EXISTING

AND AREAS WHICH ARE PUBLIC OR OTHERWISE OCCUPIED SHALL BE MAINTAINED BY THE CONTRACTOR. CONTRACTOR

SHALL PROVIDE AND MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE

PROTECTION DEVICES AND ALARMS TO CONFORM TO LOCAL

FIRE RATED PARTITIONS INDICATED ON THE FLOOR PLANS ARE

THE CONTRACTOR SHALL MAINTAIN THE RATING OF ALL

REQUIRED RATED WALLS AT ALL INTERSECTIONS,

BUILDING CODE REQUIREMENTS.

CONNECTIONS, AND PENETRATIONS.

CONSTRUCTION LEGEND

NEW WALL

WALL TYPE

AREAS NOT IN CONTRACT

EXISTING WALL TO REMAIN

FIRE-RATED WALL TYPE

ARCHITECTURE ENGINEERING

North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 **Maryland** 312 West Main St, Suite 300

309 S Governors Ave Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713

302.369.3700 www.beckermorgan.com

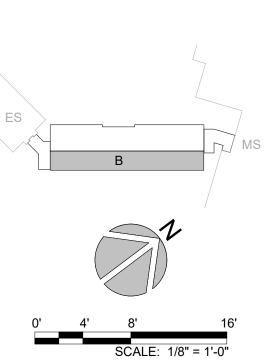


TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

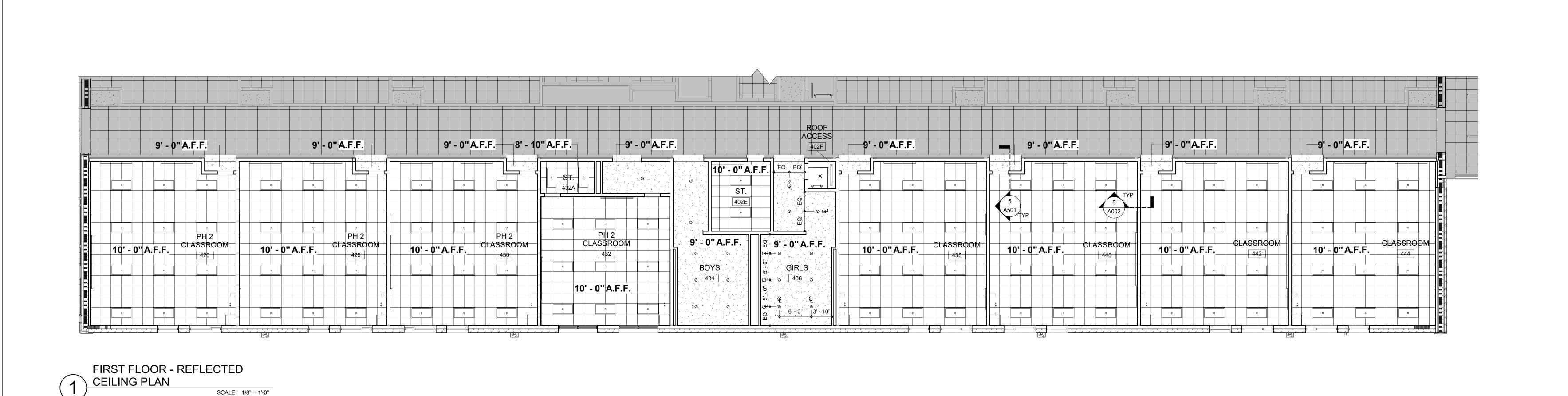
FIRST FLOOR PLAN -AREA PLANS



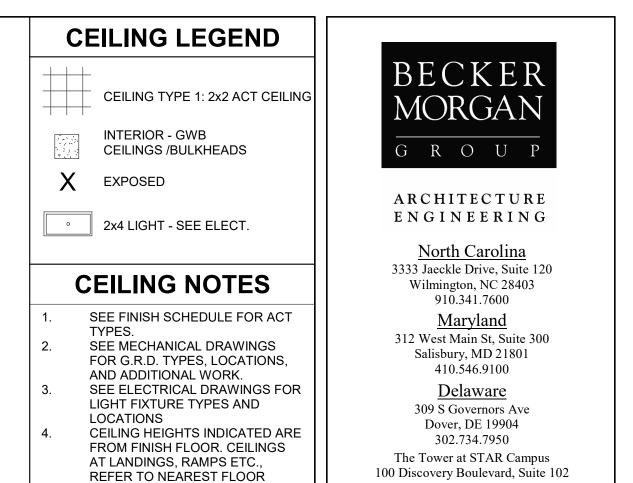
2022264.01 05.06.2024

A102

As indicated



SCALE: 1/8" = 1'-0"



LEVEL. COORDINATE WITH EXG.

WINDOW MULLION LOCATIONS. ALL EXPOSED LINTELS SHALL BE



Newark, DE 19713

302.369.3700

www.beckermorgan.com

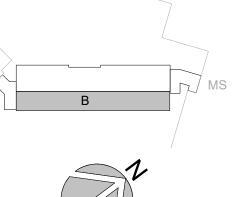


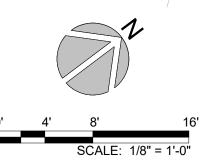
PROJECT TITLE TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

FIRST FLOOR REFLECTED CEILING PLAN

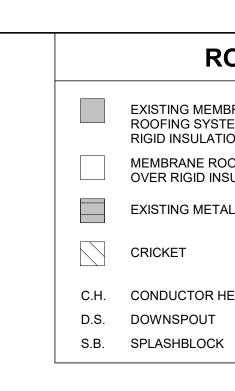




PROJE	CT NO:	2022264.0
Mark	Date	Description
ISSUE BLOCI	K	

05.06.2024 DATE: As indicated DRAWN BY: CRF | PROJ MGR: JPB

A103



ROOF NOTES AND LEGEND

EXISTING MEMBRANE
ROOFING SYSTEM OVER ROOFING SYSTEM OVER RIGID INSULATION

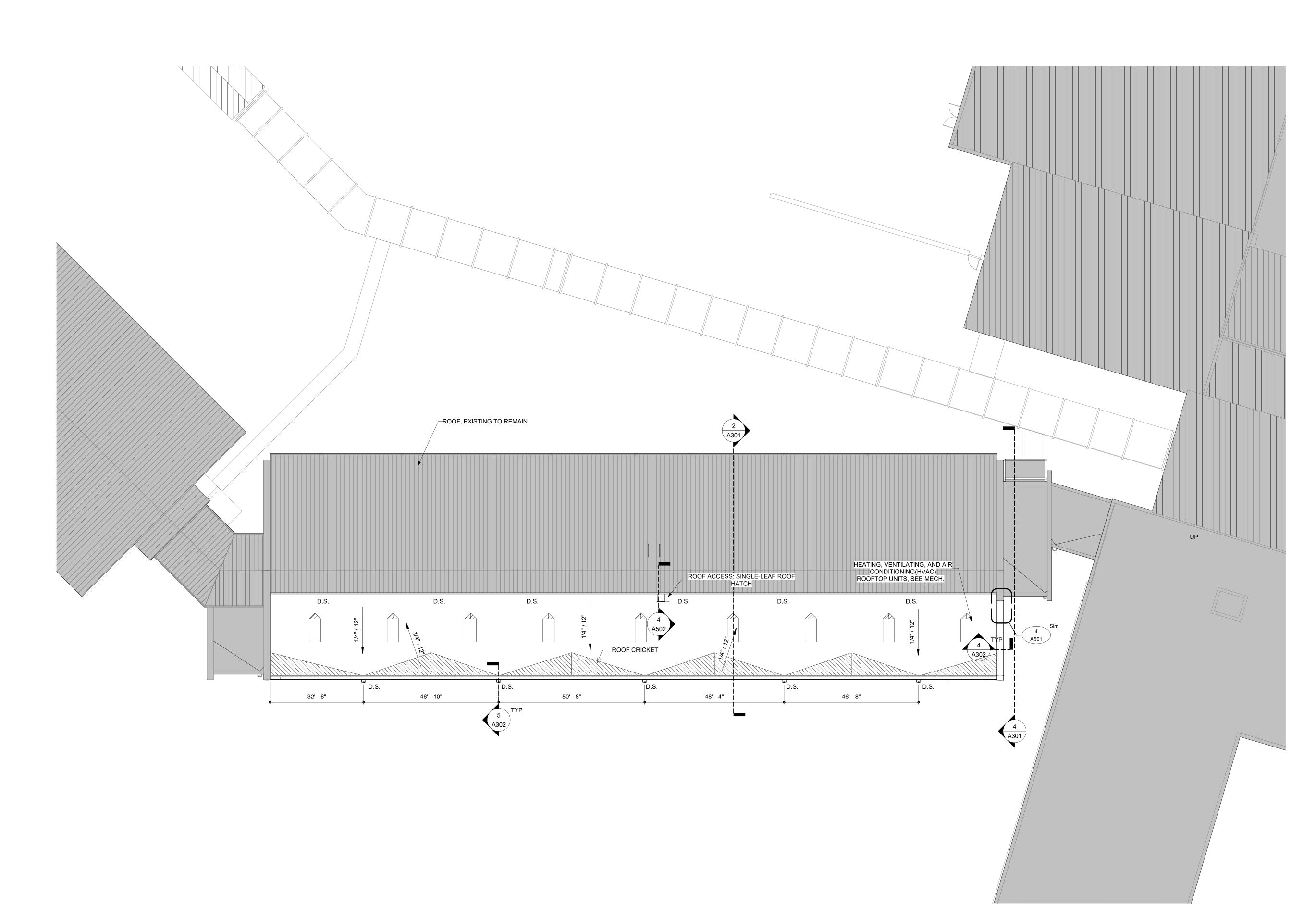
MEMBRANE ROOFING SYSTEM OVER RIGID INSULATION EXISTING METAL ROOF

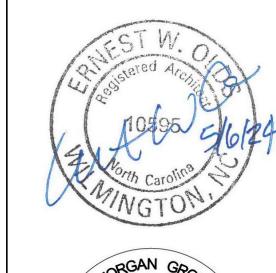
C.H. CONDUCTOR HEAD

SLOPE ALL CRICKETS 1/2" / 12" MINIMUM, EXCEPT WHERE REQUIRED TO MAINTAIN MINIMUM 8" ROOFING/FLASHING TURN-UP HEIGHT. TIE DOWNSPOUTS INTO BOOT AT GRADE AND CONNECT TO STORMWATER SYSTEM, UNLESS OTHERWISE NOTED. REFER TO CIVIL DRAWINGS FOR CONTINUATION. PROVIDE CRICKETS AT ALL ROOF TOP EQUIPMENT, FIRE VENTS, EXHAUST FANS, CURBS, ETC. AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE.

PROVIDE WALKWAY PADS AROUND MECHANICAL EQUIPMENT, BASE AND TOP OF LADDERS, AND AT DOORS. REFER TO MECHANICAL FOR ROOFTOP EQUIMPENT. REFER ALSO TO A503 FOR TYPICAL ROOF DETAILS.









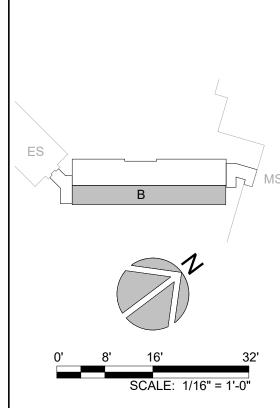
TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

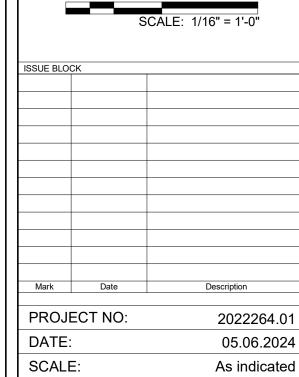
PROJECT TITLE

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

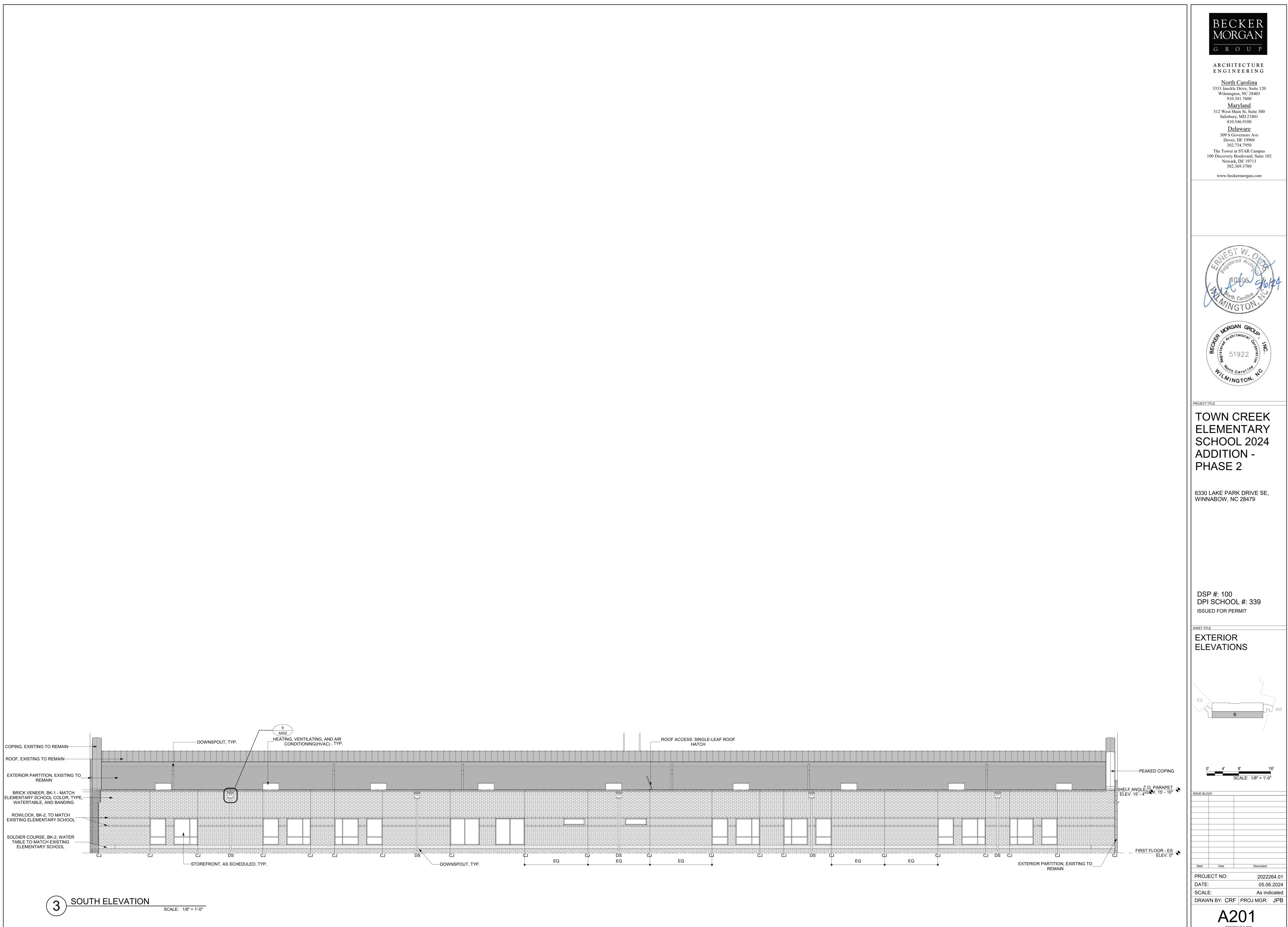
DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

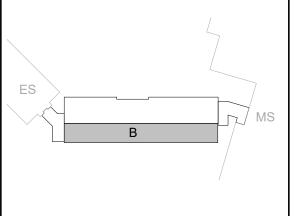
ROOF PLAN

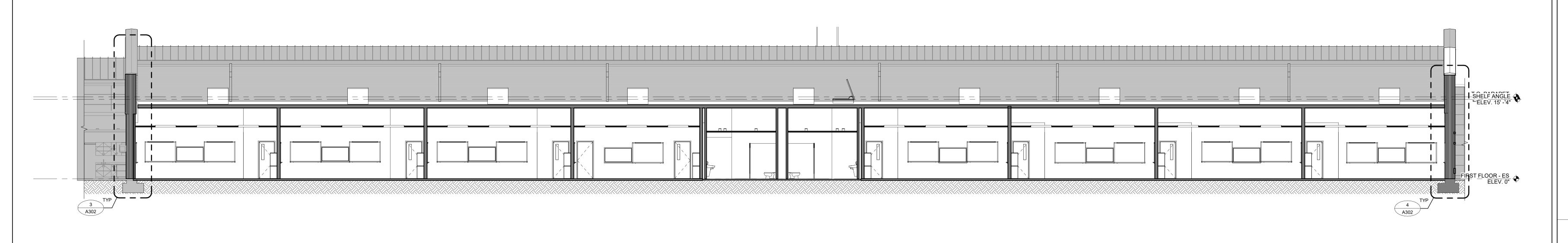




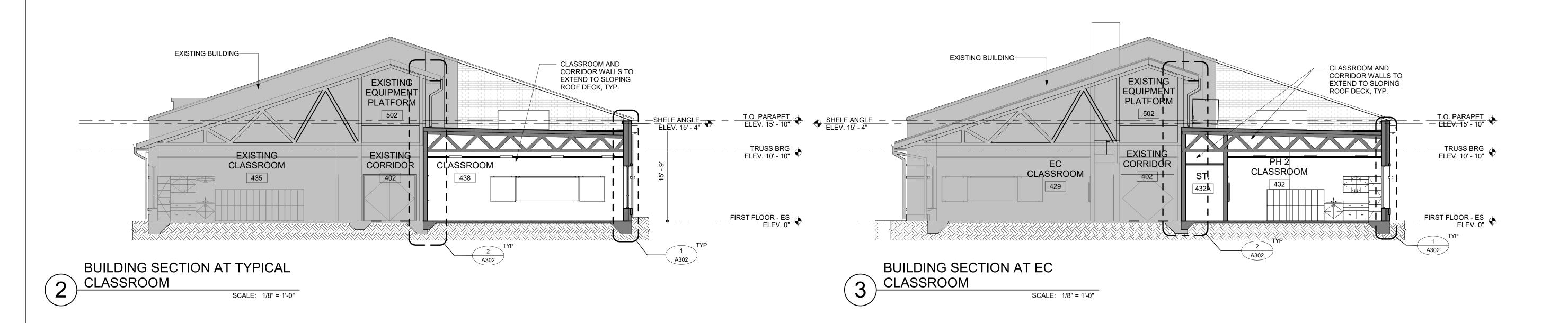
DRAWN BY: CRF PROJ MGR: JPB

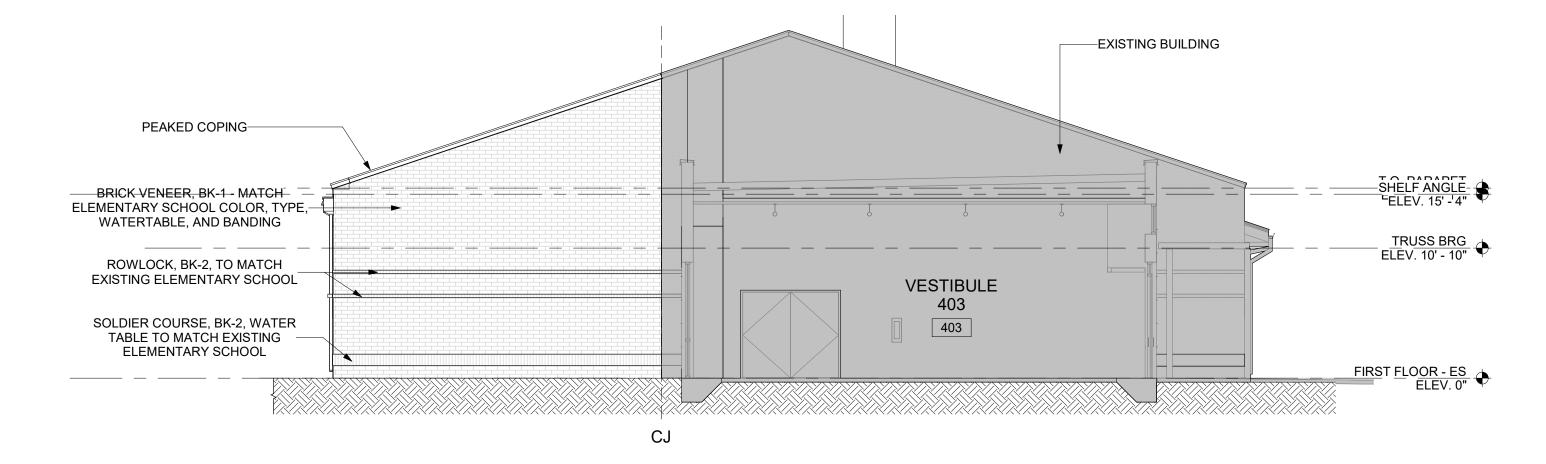






1 BUILDING SECTION SCALE: 1/8" = 1'-0"





BUIDLING SECTION AT EAST
VESTIBULE

SCALE: 1/8" = 1'-0"



ARCHITECTURE ENGINEERING

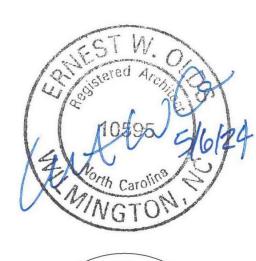
North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
Maryland

Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave Dover, DE 19904

312 West Main St, Suite 300

Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713

302.369.3700 www.beckermorgan.com





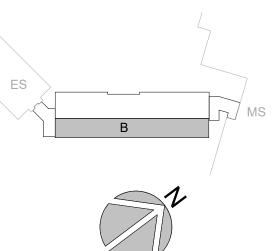
TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

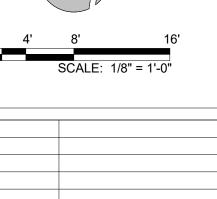
PROJECT TITLE

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

BUILDING SECTIONS





 Mark
 Date
 Description

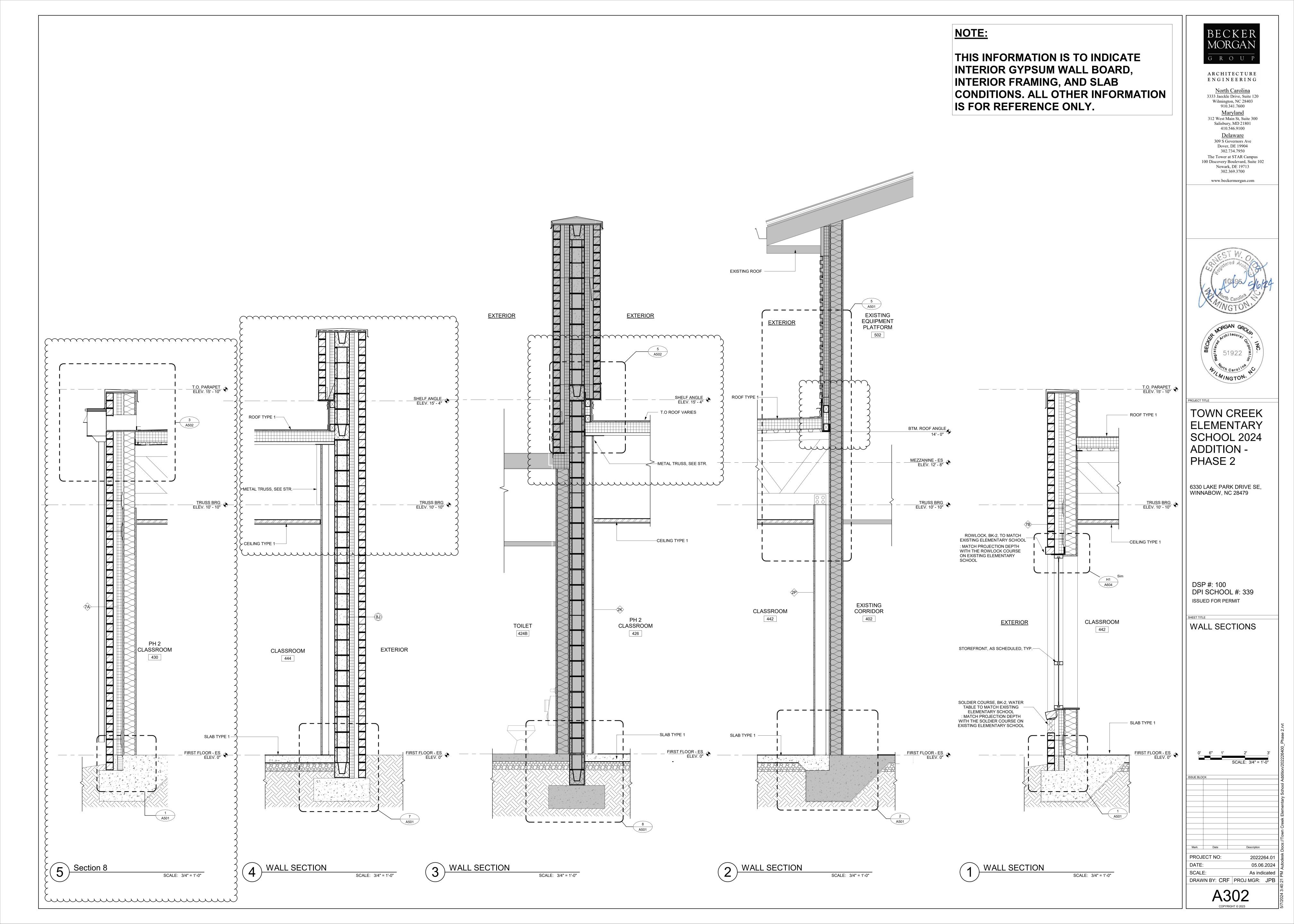
 PROJECT NO:
 2022264.01

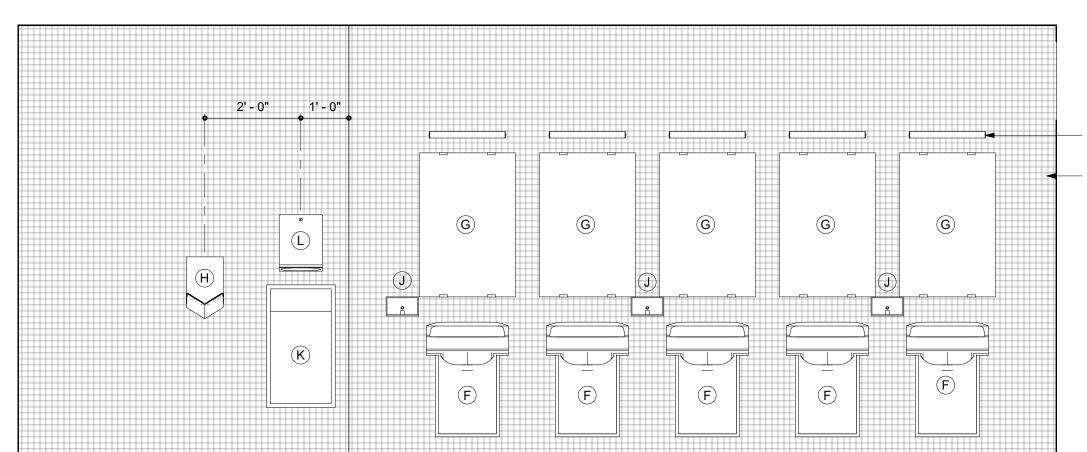
 DATE:
 05.06.2024

 SCALE:
 As indicated

DRAWN BY: CRF PROJ MGR: JPB

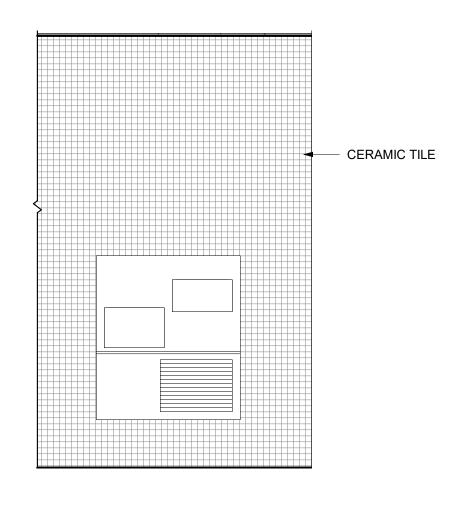
A301



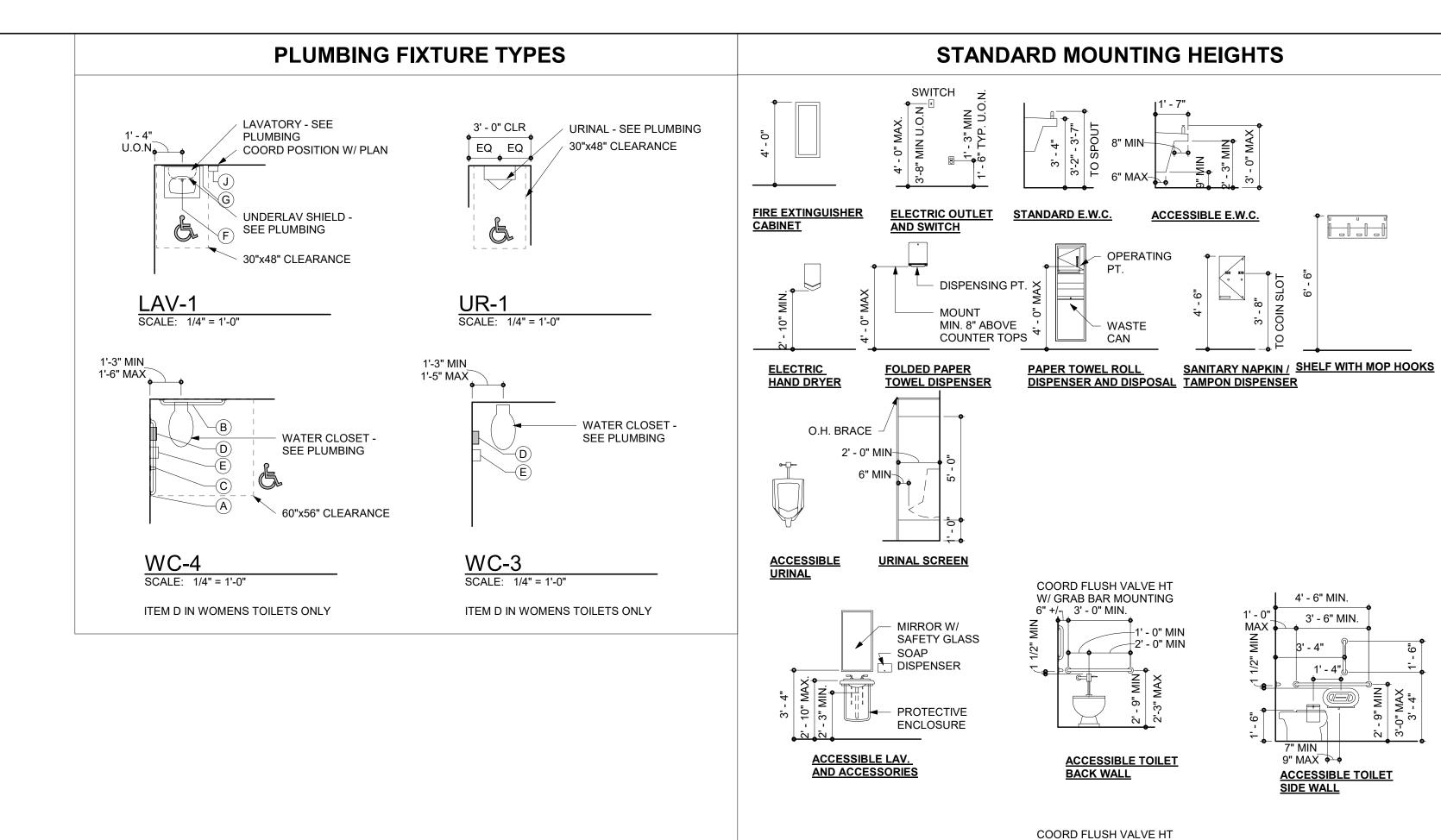


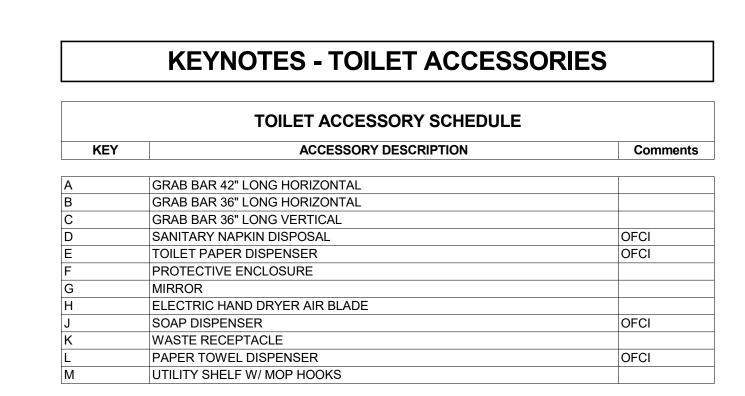
- LIGHT FIXTURE AS SCHEDULED - CERAMIC TILE

TYPICAL BATHROOM **ELEVATION** SCALE: 1/2" = 1'-0"



DRINKING FOUNTAIN 2 ELEVATION VESTIBULE SCALE: 1/2" = 1'-0"





MIRROR W/

- SOAP

'‼' ← PROTECTIVE **ENCLOSURE**

ACCESSIBLE LAV.
AND ACCESSORIES
CHILDREN AGES 9 - 12

SAFETY GLASS

W/ GRAB BAR MOUNTING

1' - 0" MIN

2' - 0" MIN

ACCESSIBLE TOILET

CHILDREN AGES 9 - 12

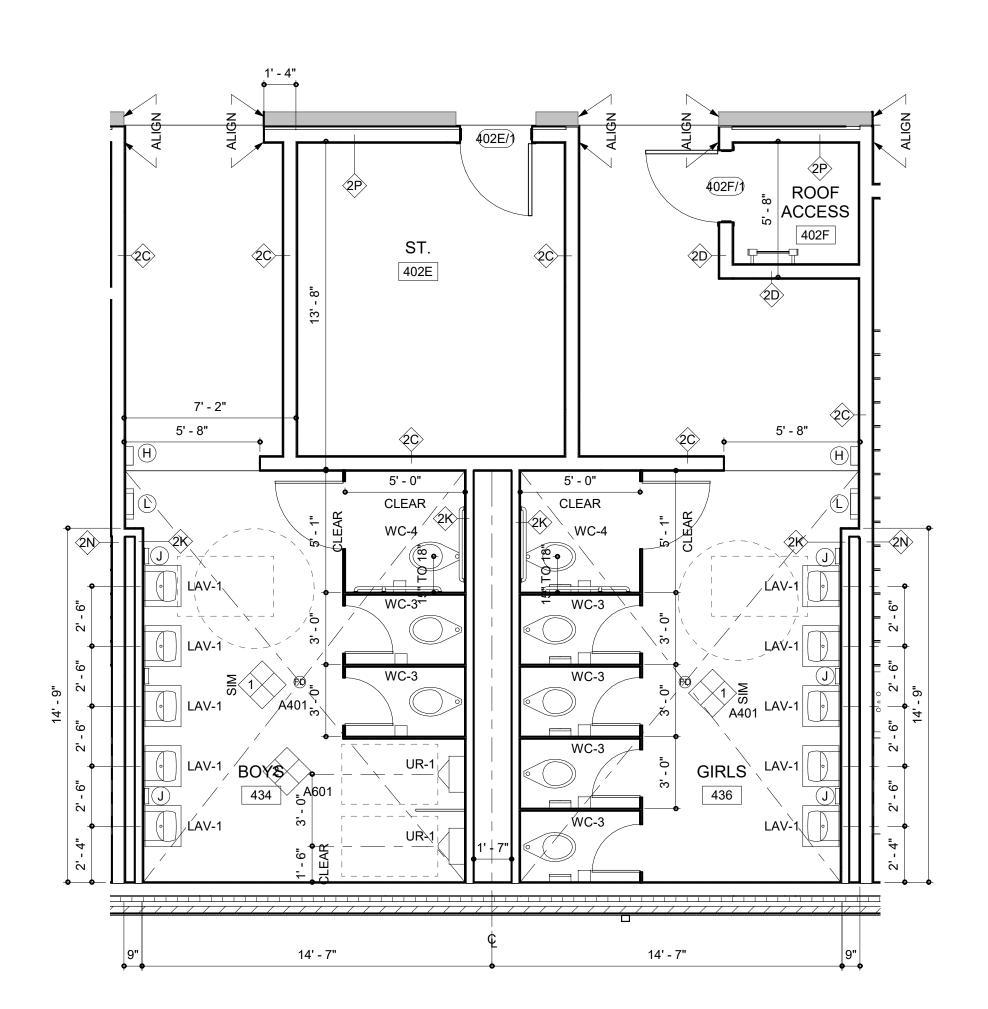
BACK WALL

6" +/-₁ 3' - 0" MIN.

4' - 6" MIN.

3' - 6" MIN.

ACCESSIBLE TOILET
SIDE WALL
CHILDREN AGES 9 - 12





—Drinking Fountain





3333 Jaeckle Drive, Suite 120

Wilmington, NC 28403 910.341.7600 **Maryland**

312 West Main St, Suite 300

Salisbury, MD 21801

410.546.9100 <u>Delaware</u>

309 S Governors Ave

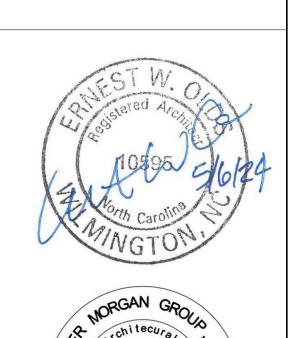
Dover, DE 19904 302.734.7950 The Tower at STAR Campus

100 Discovery Boulevard, Suite 102

Newark, DE 19713

302.369.3700

www.beckermorgan.com





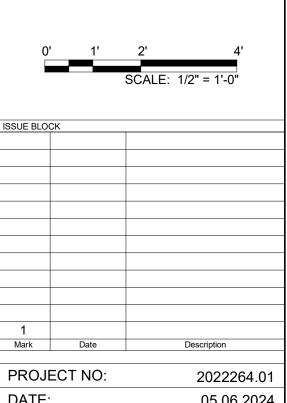
TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

PROJECT TITLE

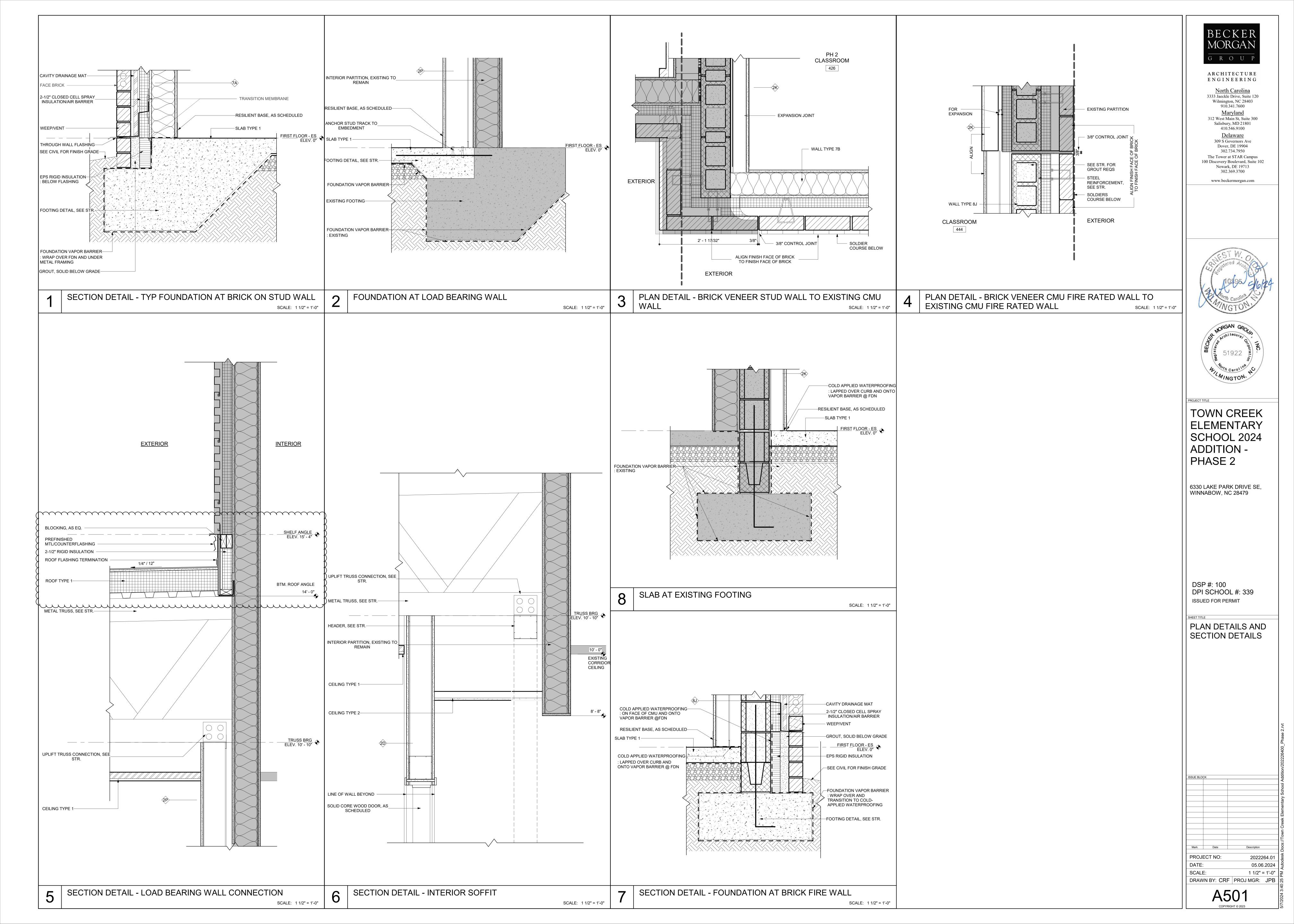
6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

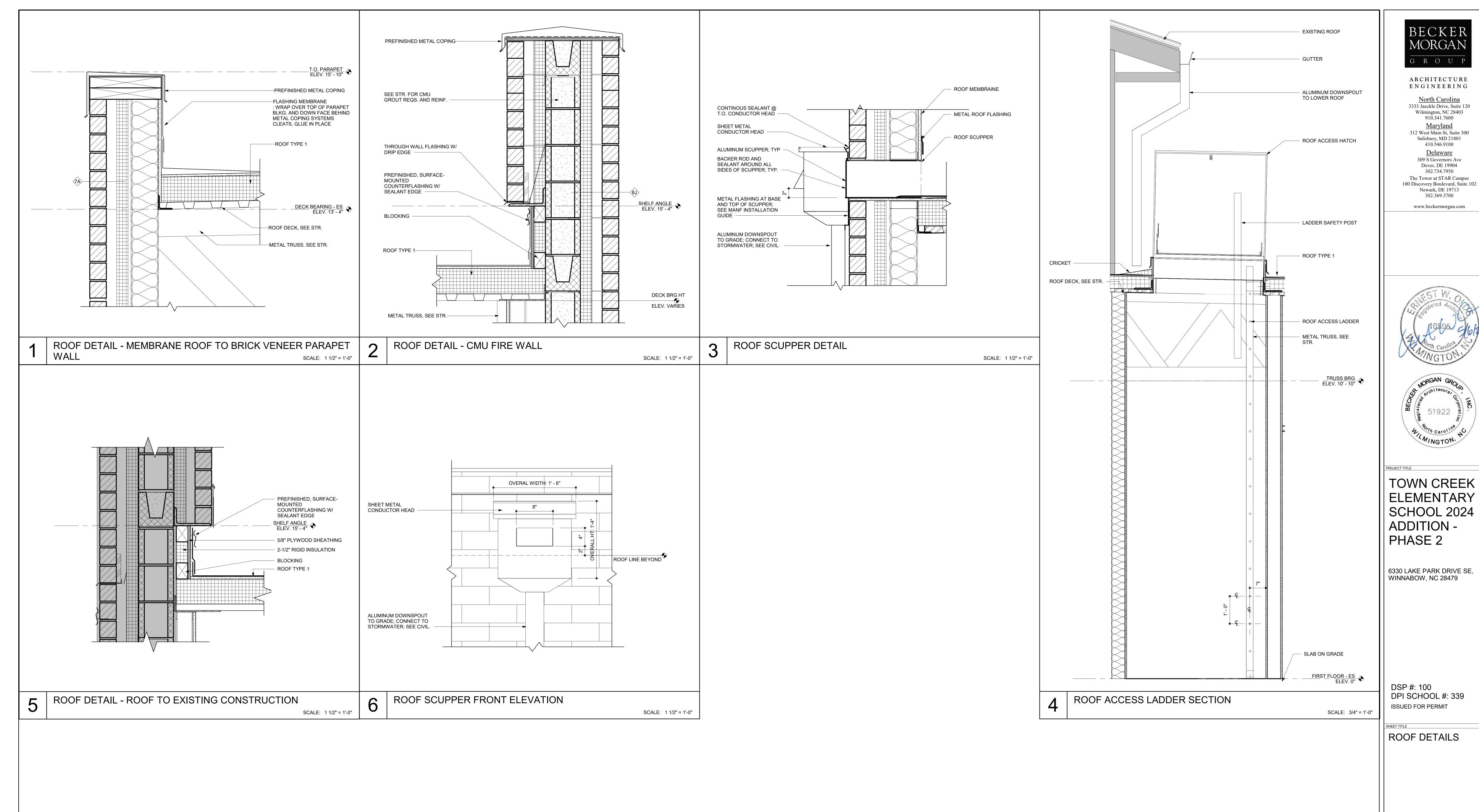
DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

SHEET TITLE ENLARGED BATHROOM PLAN AND ELEVATION



As indicated DRAWN BY: CRF | PROJ MGR: JPB





Mark Date Description

PROJECT NO: 2022264.01

DATE: 05.06.2024

SCALE: As indicated

DRAWN BY: CRF PROJ MGR: JPB

	OR SCHEDULE			FINISH SCHEDULE LEGEND
FLOORING:			KEY NAME	DESCRIPTION
			FLOOR	
LVT:	ALL LVT ARE TARKETT ID LAT		-	NOT APPLICABLE / EXISTING TO REMAIN
	FIELD LIVT:	7563 VILLA WHITE 7551 PALACE	LVT	LUXURY VINYL TILE
	LVT ACCENT 1 (PURPLE): LVT ACCENT 2 (GOLD):	7557 AFTERGLOW	TL	CERAMIC TILE FLOORING
	LVT ACCENT 3 (BLUE):	7553 ROYALE		
	·		BASE	1
CERAMIC TILE:	DALTILE QUARRY TEXTURES		-	NOT APPLICABLE / EXISTING TO REMAIN
	FLOOR QUARRY TILE:	ASHEN GREY	СТВ	CERAMIC TILE BASE
	GROUT:	MAPEI 5011 SAHARA GREY	RB	ROPPE, 174 SMOKE
			WALL	
WALLS:			-	NOT APPLICABLE / EXISTING TO REMAIN
CERAMIC TILE:	DALTILE COLOR WHEEL LINEA	AP 4V9 NOMINIAL SIZE	CWT	CERAMIC WALL TILE
CERAINIC LILE:	FIELD TILE:	0190 ARCTIC WHITE RECTANGLE GLOSSY	GWB	GYPSUM WALL BOARD
	GOLD ACCENT TILE:	1012 MUSTARD RECTANGLE GLOSSY	PT	PAINT
	BLUE ACCENT TILE: GROUT:	1174 SEA BREEZE GLOSSY MAPEI 38 AVALANCHE	CEILING	
	CROOT.	WALLIOU AVALANOILE	-	NOT APPLICABLE / EXISTING TO REMAIN
PAINT:	SHERWIN WILLIAMS COLORS		ACT	2x2 ACOUSTICAL CEILING TILE
	FIELD PAINT:	HIGH REFLECTIVE WHITE SW 7757	EXPO	EXPOSED STRUCTURE
	ACCENT 1 (PURPLE):	CONCORD GRAPE SW 6559	GWB	GYPSUM BOARD CEILING
	ACCENT 2 (BLUE): DOOR FRAMES:	INDIGO BLUE SW 6531 DORIAN GRAY SW 7017		
	DOCK I TO WILE.	2010/11/2010/11/2017	FINISH ACC	ESSORY
BASE:	ROPPE COLOR INDICATED		CG-1	CORNER GUARD
	RESILIENT BASE:	174 SMOKE	ORIENTATIO	201
			UNIENTATIO	ON PLANS NORTH WALL IS UP, EAST IS RIGHT, SOU
WINDOW SILLS:				DOWN, WEST IS LEFT
SOLID SURFACE:	CORIAN SOLID SURFACE SILL:	EXCAVAGE	GENERAL N	IOTES
	SOLID SONI ACE SILL.	LACAVAGE	1	WALLS AND CEILINGS MAY CONTAIN MORE THAN O
			-	MATERIAL OR FINISH AS INDICATED. COORDINATE
				CONSTRUCTION TYPE AND FINISH SIMILAR TO ADJAMATERIALS
			2	SEE A103 REFLECTED CEILING PLANS & CEILING NO
				FOR CEILING HEIGHTS, MATERIAL EXTENTS, LOCATAND HEIGHTS OF BULKHEADS, SOFFITS, ETC.
			3	PLAN WALL TYPES TAKE PRECEDENCE OVER SCHE
				WALL FINISH. PROVIDE APPROPRIATE WALL FINISH CORRESPOND TO WALL TYPES.
			4	MOLD AND MOISTURE RESISTANT GYPSUM BOARD
				BE USED AT ALL KITCHEN AREAS, TOILET ROOMS A
				CUSTODIAN SERVICE CLOSETS SCHEDULED TO HA GYPSUM BOARD FINISHES
			5	WALL AND CEILING FINISHES SHALL INCLUDE ALL
				PROJECTIONS, BEAM ENCLOSURES, RECESSES,
				BULKHEADS, MATERIAL CHANGES, OR OTHER ENCLOSURES. REFER TO REFLECTED CEILING PLA
			6	PROVIDE SEALANT/CAULK AT INTERSECTIONS OF
				DISSIMILAR MATERIALS AND AS RECOMMENDED BY
			1	MANUFACTURERS' GUIDELINES.

GENERAL FINISH PLAN NOTES 1. REVIEW ALL FIELD CONDITIONS AND PLANNED WORK. RESOLVE ALL DISCREPANCIES IN A MANNER APPROVED BY THE ARCHITECT THAT COULD AFFECT THE FINISHES OR TRANSITIONS PRIOR TO PROCEEDING WITH WORK AFFECTED BY DISCREPANCIES. 2. ALL FINISHES SHALL BE TYPE 1 / CLASS A FLAME AND SMOKE SPREAD. REFER TO FINISH AND MATERIAL SCHEDULES. 3. REFER TO ELEVATIONS, REFLECTED CEILING PLANS AND DETAILS FOR ADDITIONAL INFORMATION REGARDING FINISHES, PATTERNS, ORIENTATIONS AND TRANSITIONS. 4. PREPARE SURFACES PER FINISH MANUFACTURERS' INSTRUCTIONS PRIOR TO APPLICATIONS OF FINISHES, CONFIRM SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. 5. PREPARE SLAB TO RECEIVE NEW FINISHES, INCLUDING STRUCTURALLY BONDED HYDRAULIC CEMENT UNDERLAYS AND FLASH PATCHING REQUIRED TO LEVEL AND SMOOTH FLOOR TO 1/8" IN 20'-0" NON-CUMULATIVE, UNLESS OTHERWISE INDICATED AS FLATTER AND MORE LEVEL. CONCRETE FLOORS SHALL BE FREE FROM SCALING AND IRREGULARITIES AND SHALL EXHIBIT NEUTRALITY RELATIVE TO ACIDITY AND ALKALINITY. REMOVE GREASE, DIRT CURING COMPOUNDS AND OTHER MATERIALS THAT WILL IMPAIR THE PERFORMANCE AND/OR ADHESION OF THE SCHEDULED FLOORING. 6. LOCATE FLOOR FINISH TRANSITIONS AT CENTERLINE OF DOOR, UNLESS OTHERWISE NOTED. 7. SEE FINISH SCHEDULE FOR APPROPRIATE PAINT SHEENS. 8.USE PRIMER COMPATIBLE WITH SUBSTRATE TO BE PAINTED AND APPLY FINAL FINISH COAT AS RECOMMENDED BY MANUFACTURER TO MATCH ARCHITECTS SPECIFIED FINISH. TINT EACH PRIME AND SUBCOAT DIFFERENTLY BUT TOWARD FINAL COLOR. 9. SPRAY-APPLY PAINT TO METAL SURFACES UNLESS OTHERWISE NOTED OR APPROVED BY ARCHITECT. 10. PAINT AND FINISH EXPOSED SURFACES UNLESS OTHERWISE NOTED. PAINT SURFACES BEHIND REMOVABLE EQUIPMENT/FURNITURE. PAINT BEHIND NON-REMOVABLE ITEMS WITH PRIME COAT ONLY. 11. LAY RESILIENT FLOORING DIRECTIONAL PATTERNS OR GRAINS AS NOTED, OR IF NOT NOTED AS DIRECTED BY THE ARCHITECT. 12. GRILLES, PLATES, DIFFUSERS AND OTHER ITEMS OCCURRING IN WALLS OR CEILING SHALL BE FACTORY 13. PRIME ALL MATERIAL PRIOR TO PAINTING.

FINISHED IN PAINT OF COLOR AND SHEEN TO MATCH SURFACES ON WHICH THEY OCCUR UNLESS OTHERWISE 14. SEALANT TO BE APPLIED BETWEEN BASE OF ALL DOOR FRAMES AND TILE FLOORING. SEALANT TO MATCH COLOR OF DOOR FRAMES. 15. CLEANING AND PROTECTION. a) COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR CLEANING AND PROTECTION OF FLOOR COVERINGS.

b) IMMEDIATELY AFTER COMPLETING FLOOR COVERING INSTALLATION: 1. REMOVE ADHESIVE AND OTHER BLEMISHES FROM FLOOR COVERING SURFACES. 2. SWEEP AND VACUUM FLOOR COVERINGS THOROUGHLY. 3. DAMP-MOP FLOOR COVERINGS TO REMOVE MARKS AND SOIL.

c). PROTECT FLOOR COVERINGS FROM DAMAGE DURING REMAINDER OF CONSTRUCTION. 1. 1/8" MASONITE SMOOTH BOARD AT HEAVY TRAFFIC AREAS. 2. 5MM CORREX TWINWALL TAPED JOINTS POLYPROPYLENE SHEET, FINE FLUTE. 16. ALL INTERIOR NON-WET LOCATION WALL TO BE PAINTED PT-1 U.N.O. 17. EXTEND FLOORING INTO ALL TOE KICKS, KNEE SPACES AND EXPOSED AREAS UNDER ANY EXISTING CASEWORK. FLOORING AS SCHEDULED SHALL BE INSTALLED UNDER ALL NEW CASEWORK. 18. MOLD AND MOISTURE RESISTANT GYPSUM BOARD SHALL BE USED AT ALL KITCHEN AREAS, TOILET ROOMS. AND CUSTODIAN SERVICE CLOSETS SCHEDULED TO HAVE GYPSUM BOARD FINISHES. THIS INCLUDES UNDER ALL NEW CASEWORK AND APPLIANCES.

19. SEE THE REFLECTED CEILING PLAN & NOTES FOR CEILING HEIGHTS, MATERIAL EXTENTS, LOCATIONS & HEIGHTS OF BULKHEADS, SOFFITS, ETC. 20. PLAN WALL TYPES TAKE PRECEDENCE OVER SCHEDULED WALL FINISH, PROVIDE APPROPRIATE WALL FINISH TO CORRESPOND TO WALL TYPES. 21. PROVIDE SEALANT/CAULK AT INTERSECTIONS OF DISSIMILAR MATERIALS AND AS RECOMMENDED BY MANUFACTURERS' GUIDELINES.

FINISH LEGEND ROOM FINISH TAG: WALL FINISH (FIELD) WALL BASE FINISH FLOOR FINISH FINISH TAG: SEE FINISH LEGEND TL TRANSITION STRIP BETWEEN MATERIALS SIGNAGE TAG: SEE A602 FOR SIGNAGE TYPES AND

SCHEDULE

GROUI ARCHITECTURE

ENGINEERING North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 **Maryland**

312 West Main St, Suite 300

Salisbury, MD 21801

410.546.9100

<u>Delaware</u> 309 S Governors Ave Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700

www.beckermorgan.com



51922

PROJECT TITLE TOWN CREEK

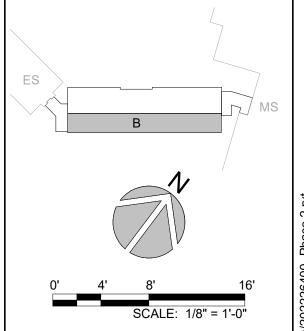
ELEMENTARY SCHOOL 2024 **ADDITION -**PHASE 2

6330 LAKE PARK DRIVE SE,

WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

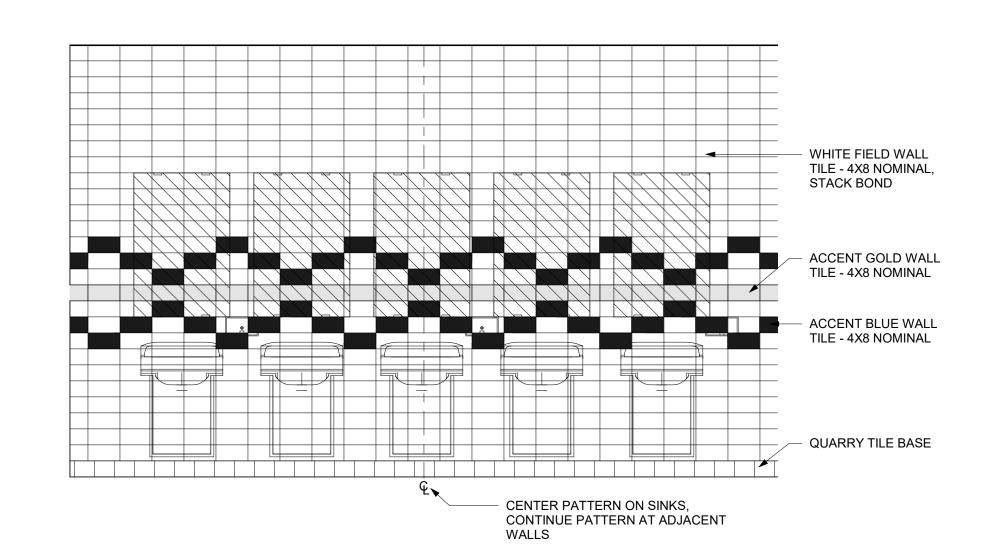
FIRST FLOOR FINISH PLANS



PROJECT NO: 2022264.01

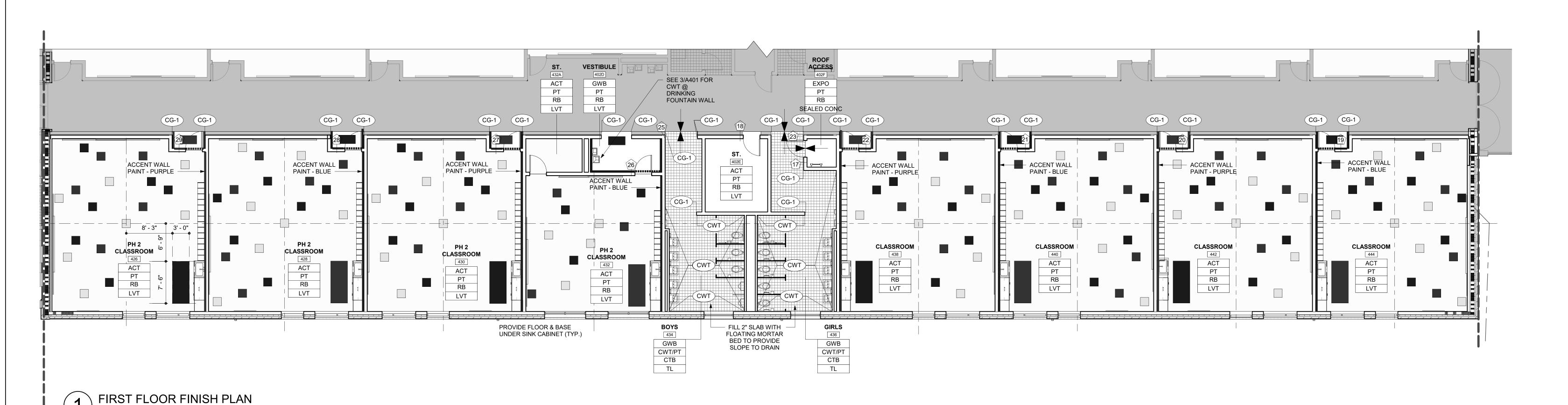
05.06.2024 As indicated DRAWN BY: CRF | PROJ MGR: JPB

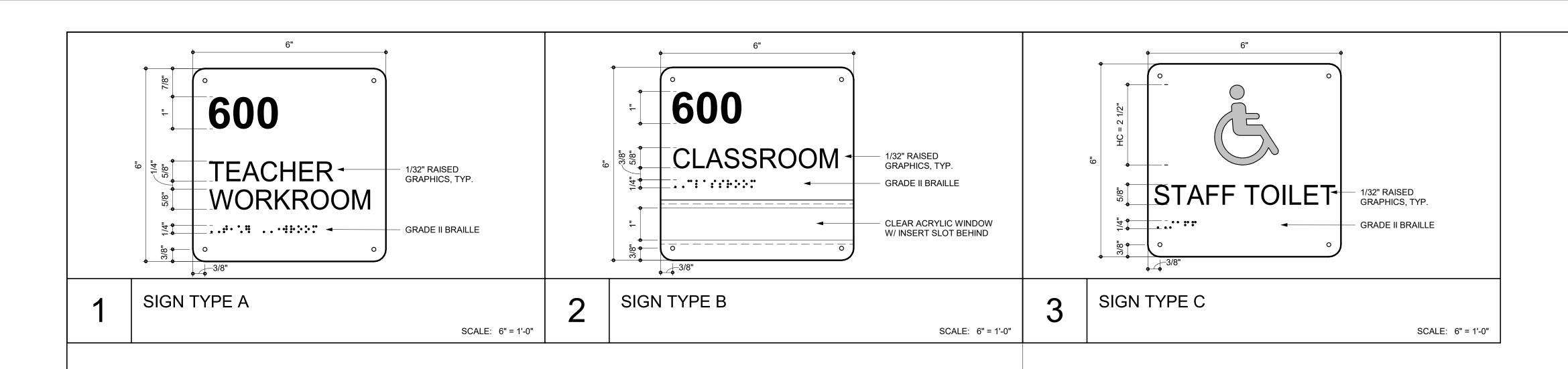
A60⁻

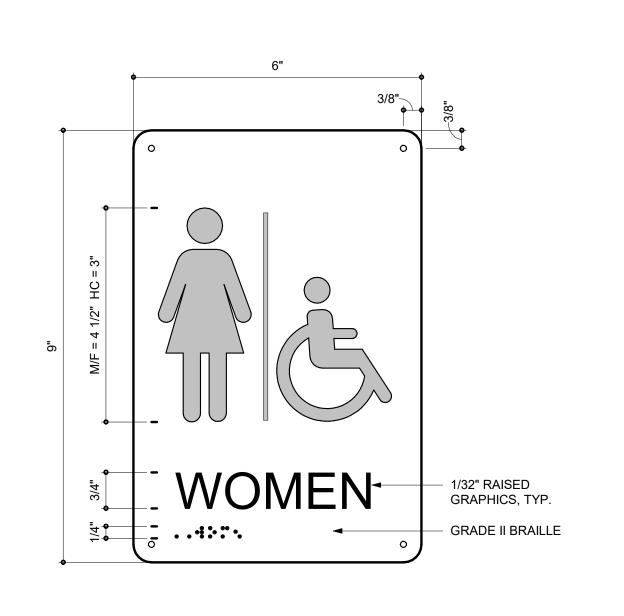


RESTROOM TILE PATTERN REFER TO 1/A401 FOR ANNOTATED WALL ELEVATION WITH FIXTURES &

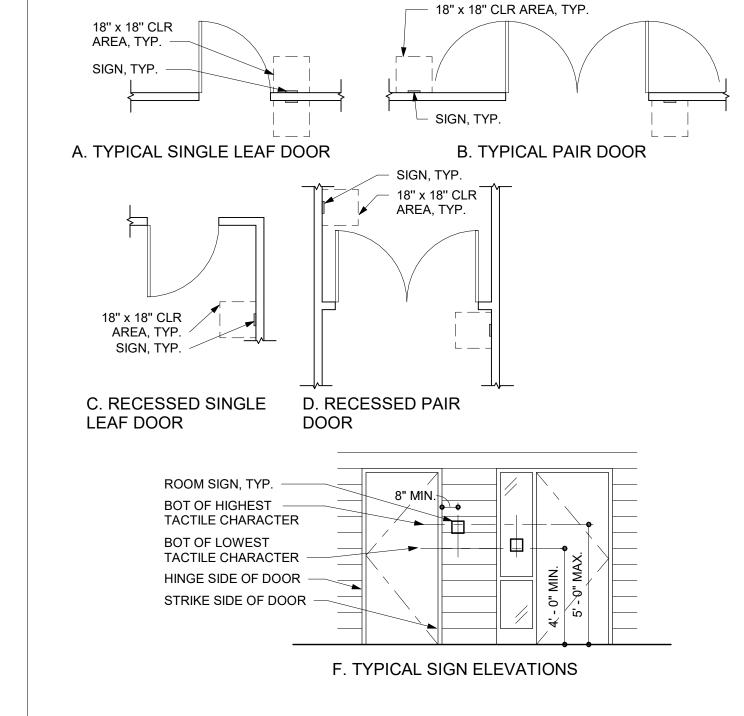
ACCESSORIES











4 SIGN TYPE D

SCALE: 6" = 1'-0"

SIGNAGE SCHEDULE SIGNAGE KEY ROOM NUMBER (CONSTRUCTION PLAN) ROOM NAME (CONSTRUCTION PLAN) SIGN TYPE ROOM NAME (SIGNAGE) ROOF ACCESS ROOF ACCESS STORAGE CLASSROOM CLASSROOM CLASSROOM CLASSROOM CLASSROOM CLASSROOM CLASSROOM CLASSROOM GIRLS GIRLS CLASSROOM PH 2 CLASSROOM CLASSROOM PH 2 CLASSROOM PH 2 CLASSROOM CLASSROOM

PH 2 CLASSROOM

CLASSROOM



ARCHITECTURE ENGINEERING

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600

Maryland
312 West Main St, Suite 300
Salisbury, MD 21801
410.546.9100

Delaware
309 S Governors Ave
Dover, DE 19904
302.734.7950
The Tower at STAR Campus
100 Discovery Boulevard, Suite 102
Newark, DE 19713

302.369.3700 www.beckermorgan.com





PROJECT TITLE

TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

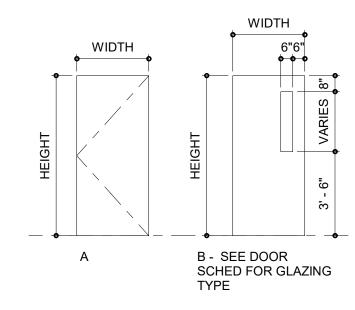
6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

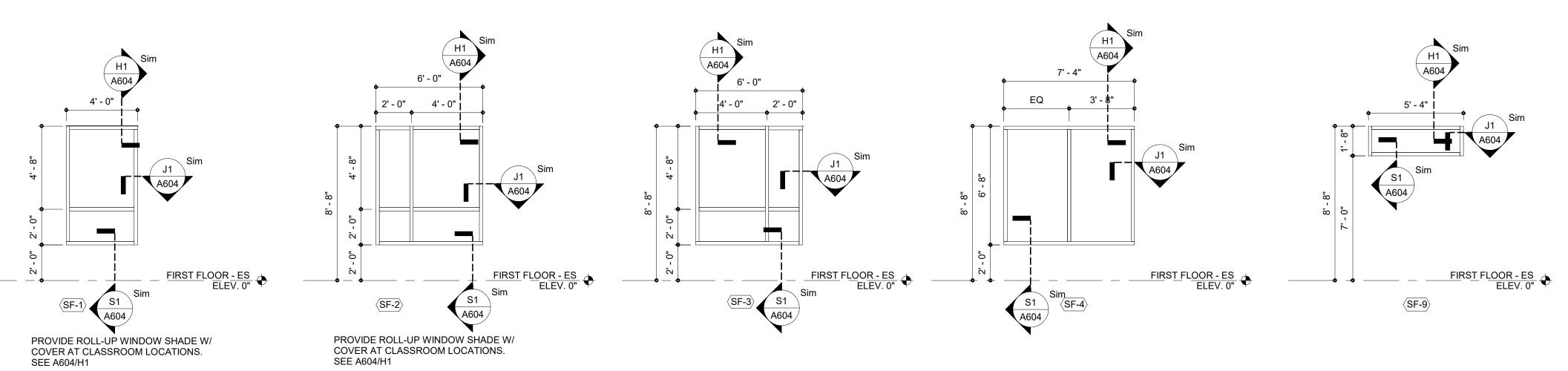
DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

SIGNAGE SCHEDULE
AND DETAILS

A602

DOOR SCHEDULE																
			DO	DOOR			FRAME						HDWE			
	SIZE				UNDER		DETAIL		FIRE							
WIDTH	HT	THICK	MATL	TYPE	FIN	GLAZ	CUT	MATL	TYPE	FIN	HEAD	JAMB	SILL	RATING	SET	COMMENTS
OOR - ES	3															
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	01	
3' - 0"	7' - 2"	1 3/4"	НМ	Α	-	-	0"	HM			H2	J2	S2	-	01	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	HM			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	HM			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	Α	-	-	0"	НМ			H2	J2	S2	-	01	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J2	S2	-	02	
3' - 0"	7' - 2"	1 3/4"	SCWD	В	-	LAM.	0"	НМ			H2	J5	S2	-	02	
	OOR - ES 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0" 3' - 0"	OOR - ES 3' - 0"	WIDTH HT THICK OOR - ES 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4" 3' - 0" 7' - 2" 1 3/4"	SIZE WIDTH HT THICK MATL OOR - ES 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" HM 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD 3' - 0" 7' - 2" 1 3/4" SCWD	SIZE WIDTH HT THICK MATL TYPE OOR - ES 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" HM A 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD A 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B 3' - 0" 7' - 2" 1 3/4" SCWD B	SIZE WIDTH HT THICK MATL TYPE FIN OOR - ES 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" HM A - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD A - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD B - 3' - 0" 7' - 2" 1 3/4" SCWD <t< td=""><td>SIZE WIDTH HT THICK MATL TYPE FIN GLAZ OOR - ES 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" HM A - - 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0"<</td><td> SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT </td><td> DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ GUT MATL </td><td> DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE </td><td> DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ GUT MATL TYPE FIN </td><td> SIZE</td><td> DOOR SIZE MATL TYPE FIN GLAZ CUT MATL TYPE FIN DETAIL </td><td> DOOR</td><td> DOOR</td><td> SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE FIN GLAZ CUT MATL TYPE FIN HEAD JAMB SILL FIRE HDWE SET SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE FIN HEAD JAMB SILL SILL FIRE HDWE SET OOR - ES</td></t<>	SIZE WIDTH HT THICK MATL TYPE FIN GLAZ OOR - ES 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" HM A - - 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0" 7' - 2" 1 3/4" SCWD B - LAM. 3' - 0"<	SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT	DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ GUT MATL	DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE	DOOR SIZE WIDTH HT THICK MATL TYPE FIN GLAZ GUT MATL TYPE FIN	SIZE	DOOR SIZE MATL TYPE FIN GLAZ CUT MATL TYPE FIN DETAIL	DOOR	DOOR	SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE FIN GLAZ CUT MATL TYPE FIN HEAD JAMB SILL FIRE HDWE SET SIZE WIDTH HT THICK MATL TYPE FIN GLAZ CUT MATL TYPE FIN HEAD JAMB SILL SILL FIRE HDWE SET OOR - ES





GLAZING LEGEND

 GLAZING SHALL BE TEMPERED IN DOORS, BORROW LIGHTS, SIDE LIGHTS, AND AS REQUIRED BY CODE, AND AS INDICATED
 GLAZING SHALL BE SAFETY LAMINATED AS REQUIRED BY CODE, AND AS INDICATED.

LAMINATED GLAZING

DOOR SCHEDULE LEGEND

- NONE (IE., NOT APPLICABLE OR FACTORY FINISHED)
ALUM, AL ALUMINUM
HM HOLLOW METAL
IG INSULATED GLAZING

SCWD SOLID CORE WOOD DOOR
SF STOREFRONT
TEMP TEMPERED GLAZING

DOOR SCHEDULE NOTES

SEE A603 FOR DOOR DETAILS AND STOREFRONT DETAILS.
REFER TO GLAZING LEGEND FOR ADDITIONAL GLAZING INFORMATION.



G R O

ENGINEERING

North Carolina
3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600

Maryland

ARCHITECTURE

312 West Main St, Suite 300
Salisbury, MD 21801
410.546.9100

Delaware
309 S Governors Ave

Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700

www.beckermorgan.com





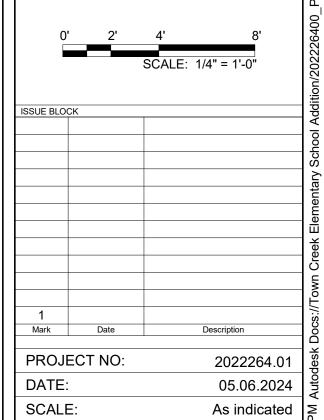


TOWN CREEK
ELEMENTARY
SCHOOL 2024
ADDITION PHASE 2

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

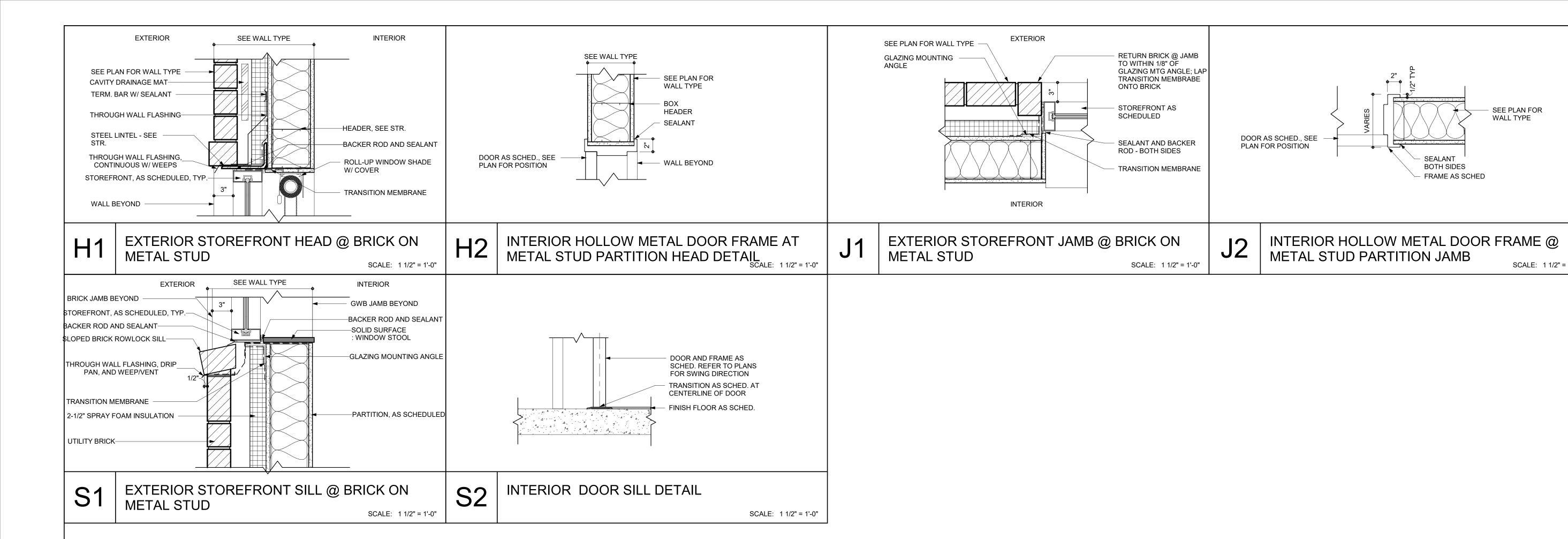
DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

DOOR AND WINDOW TYPES AND SCHEDULE



DRAWN BY: CRF PROJ MGR: JPB

A603





ARCHITECTURE ENGINEERING

SEE PLAN FOR WALL TYPE

SCALE: 1 1/2" = 1'-0"

North Carolina 3333 Jaeckle Drive, Suite 120 Wilmington, NC 28403 910.341.7600 **Maryland** 312 West Main St, Suite 300 Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave

Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700

www.beckermorgan.com





TOWN CREEK ELEMENTARY SCHOOL 2024 ADDITION -PHASE 2

PROJECT TITLE

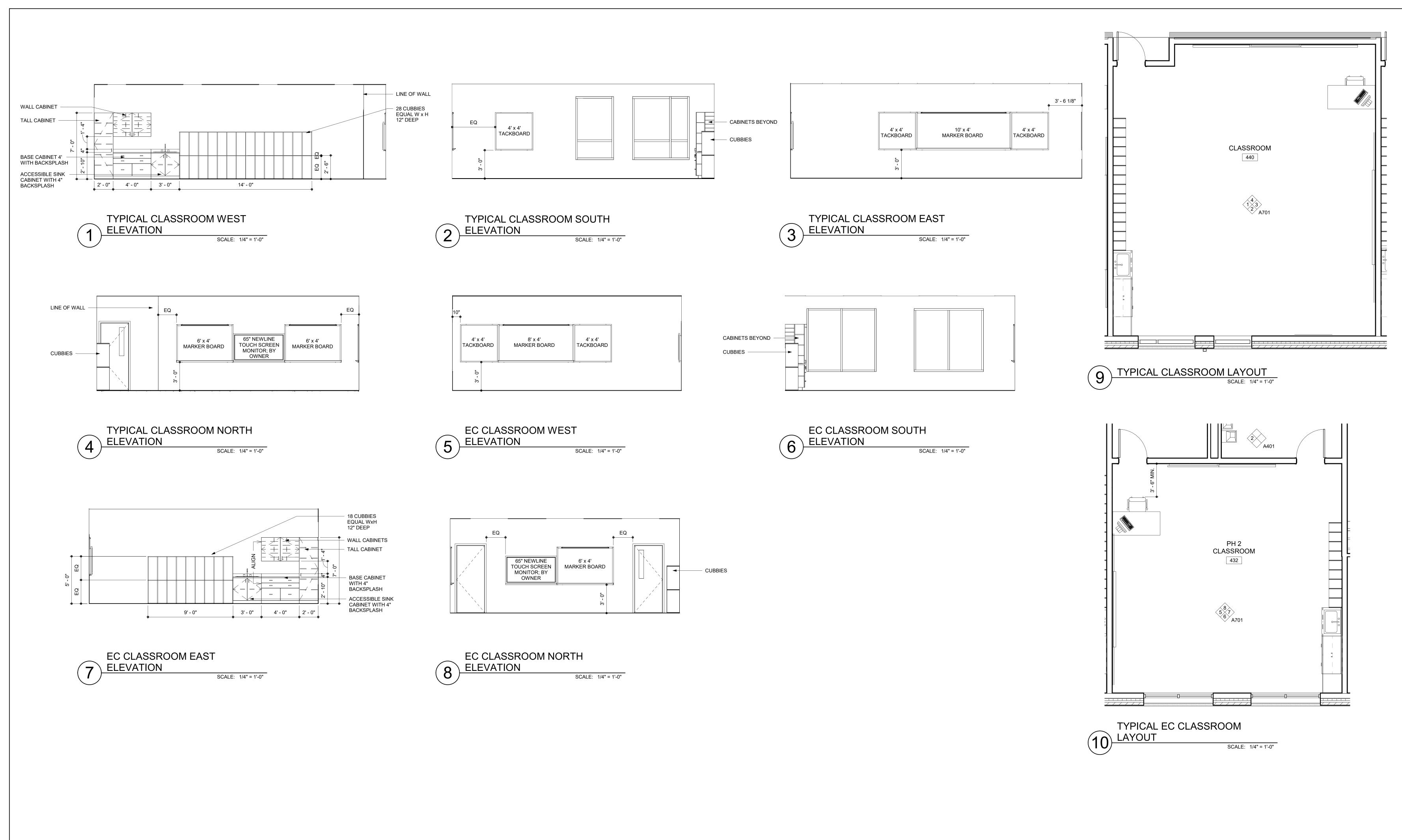
6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339 ISSUED FOR PERMIT

DOOR AND WINDOW DETAILS - HEAD, SILL, AND JAMBS

1 1/2" = 1'-0"

DRAWN BY: CRF | PROJ MGR: JPB



BECKER MORGAN GROUP

ARCHITECTURE ENGINEERING

North Carolina

3333 Jaeckle Drive, Suite 120
Wilmington, NC 28403
910.341.7600
Maryland
312 West Main St, Suite 300

Salisbury, MD 21801 410.546.9100 <u>Delaware</u> 309 S Governors Ave Dover, DE 19904 302.734.7950 The Tower at STAR Campus 100 Discovery Bouleyard, Suite 10

The Tower at STAR Campus 100 Discovery Boulevard, Suite 102 Newark, DE 19713 302.369.3700

www.beckermorgan.com

10595 Glol24

Alonh Carolina

NGTON



TOWN CREEK
ELEMENTARY
SCHOOL 2024
ADDITION PHASE 2

6330 LAKE PARK DRIVE SE, WINNABOW, NC 28479

DSP #: 100 DPI SCHOOL #: 339

SHEET TITLE

INTERIOR

ISSUED FOR PERMIT

INTERIOR

| Mark | Date | Description | PROJECT NO: 2022264.01 | DATE: 05.06.2024 | SCALE: 1/4" = 1'-0" | DRAWN BY: CRF | PROJ MGR: JPB

A701