



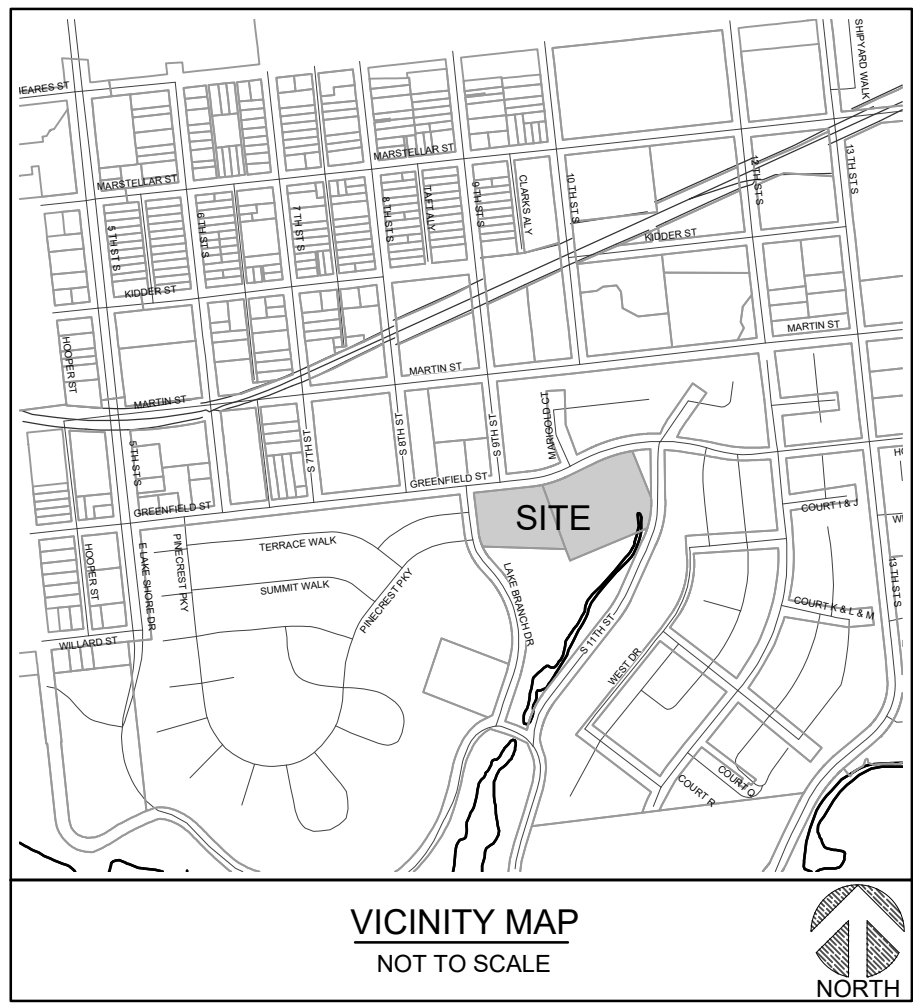
W. M. JORDAN COMPANY'S CLARIFICATION NO. 1

PROJECT: THE WILMINGTON FOOD BANK CD SET

DATE: 12/14/21

Please reference this Clarification on the bid form.

1. Reminder to review the "Supplementary Instructions to Bidders". Bids are to be submitted on the **project bid form** per the plans/specifications in conjunction with the trade specific **bid scopes**.
2. Project bid form was included previously in Addendum No.1. See plan room.
3. A sample contract and insurance requirements are posted in the plan room for review. Please pay attention to the insurance coverage amounts.
4. Attached to this clarification is a revised sheet L-2.0 that shows visually change descriptions that were previously included in Addendum No.3 sent out 12/13/21.



VICINITY MAP
NOT TO SCALE



SITE DATA:

PROJECT ADDRESS: 1000 GREENFIELD STREET
PARCEL ID: R05418-004-000-000
R05418-004-001-000

CURRENT ZONING: UMX

PROPOSED USE: FOOD PANTRY & DISTRIBUTION

PROJECT SITE AREA: ± 5.141 ACRES (± 223,942 SF)

OWNER INFORMATION: FOOD BANK OF CENTRAL & EASTERN NC
1924 CAPITAL BLVD
RALEIGH, NC 27604

FLOOD INFORMATION: THIS PARCEL IS NOT LOCATED IN A FEMA FLOOD ZONE

CAMA LAND USE CLASSIFICATION: URBAN

PROPOSED BUILDING SIZE: ± 32,000 SF

PROPOSED LOT COVERAGE (SF): 14.3% (± 32,000 SF / ± 223,942 SF)

BUILDING CONSTRUCTION TYPE: TYPE 5B-SPRINKLED

PROPOSED DISTURBED AREA: ±140,000 SF

STREET YARD CALCULATIONS:

TM EXEMPT

SECONDARY STREET YARD CALCULATIONS

	REQUIRED	PROVIDED
(MAX WIDTH 37.5', MIN WIDTH 12.5') 117.44 LF * 12 1 CANOPY / 600 SF (2.35 MULTIPLIER)	1,409 SF 3	1,409 SF 3

BUFFER YARD CALCULATIONS:

TM EXEMPT

STREET TREE PLANTING REQUIREMENTS

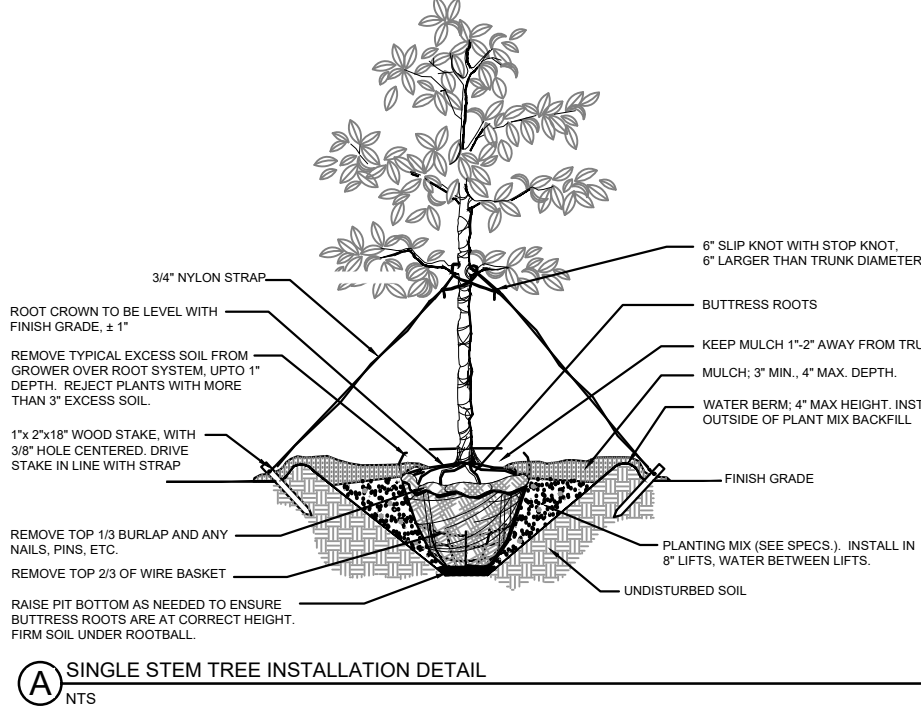
	REQUIRED	PROVIDED
GREENFIELD STREET 705 LF - 54 LF DRIVEWAYS = 651 LF TOTAL 651 LF / 30' = 22 TREES	22 TREES	22 TREES
LAKE BRANCH DRIVE 250 LF / 30' = 8.3 TREES	8 TREES	22 TREES

SCREENING REQUIREMENTS

- SCREENING SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT ALONG THE FRONT OR CORNER SIDE OF ANY LOT AND EIGHT (8) FEET IN HEIGHT ALONG ANY SIDE OR REAR PROPERTY LINE. CHAIN LINK FENCING SHALL NOT BE PERMITTED AS A SCREENING ALTERNATIVE.

TREE REMOVAL NOTES:

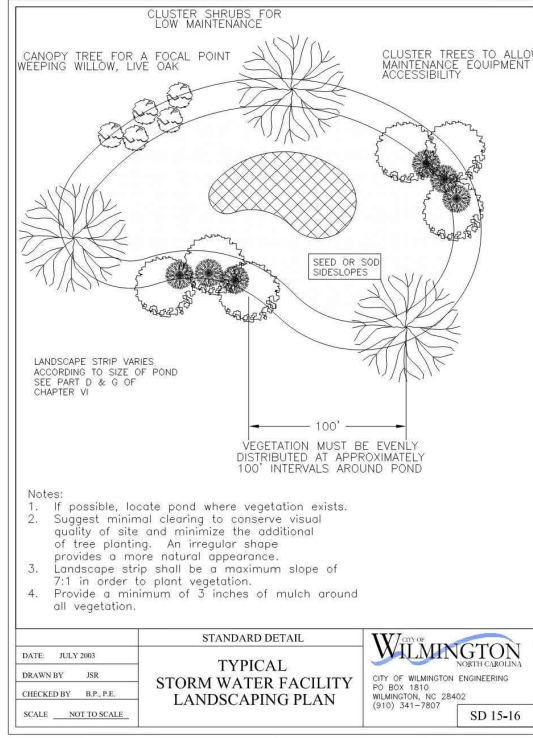
- NO REGULATED TREES ARE TO BE REMOVED



A SINGLE STEM TREE INSTALLATION DETAIL
NTS

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND COORDINATING ANY UTILITY RELOCATION WITH THE GENERAL CONTRACTOR PRIOR TO BEGINNING WORK. TREES SHALL BE LOCATED NO CLOSER THAN 5 FEET FROM SEWER/WATER CONNECTIONS AND 8 FEET FROM FIRE HYDRANTS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES. ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 - NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
 - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
 - ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. ALL SINGLE TREES (INCLUDING BOTH PROPOSED AND EXISTING TREES) SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER. PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PREPARE ALL SEEDING OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDING AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVELLED GROUND. IRRIGATION OF SOD/SEED/TURF AREAS ARE NOT INCLUDED IN THE CISTERN IRRIGATED AREAS. CISTERN SYSTEM DESIGNED & INSTALLED BY OTHERS. CISTERN RAINWATER COLLECTION WILL IRRIGATE COMMUNITY GARDEN.



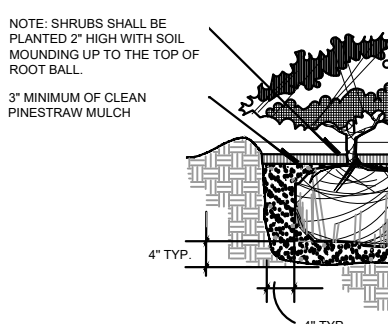
WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

EXISTING TREES TO SATISFY
LAKE BRANCH DRIVE STREET
TREE REQUIREMENT

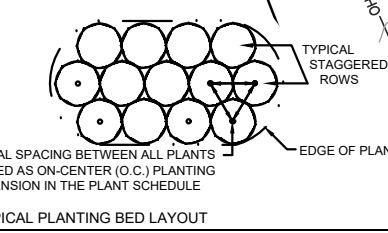
SEED TO EXISTING
VEGETATION AROUND DITCH

NOTES:

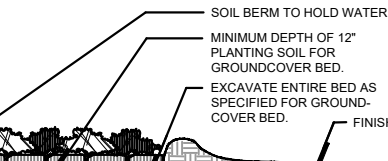
- ONLY COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
- INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
- TAMP PLANT BALL AND FIRM IN 1/2" LIFTS AROUND PLANT BALL.
- SEED PLANT BALL AND FIRM IMMEDIATELY AFTER INSTALLATION.



B SHRUB INSTALLATION DETAIL
NTS



TYPICAL PLANTING BED LAYOUT



PREPARED PLANTING BED AS SHOWN. NOTE: WHEN USED IN AREAS WHERE RED TO BE EXCAVATED TO REVEAL PLANTING SOIL AND PLANT MATERIAL.

GARDEN LAKE ESTATES LTD.
PARTNERSHIP
1519 LAKE BRANCH DRIVE
PID: R05418-004-002-000
DB 2668, PG 538
ZONED CB

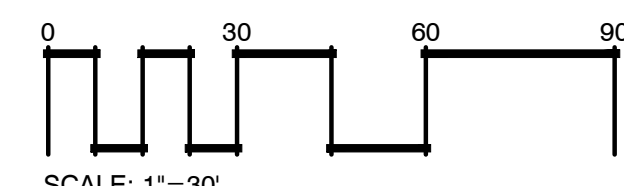
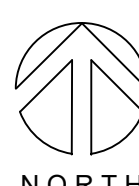


Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: Permit #
Signed:

NCDENR PWSS WATER PERMIT #:	_____	_____
WATER CAPACITY:	_____	GPD
DWQ SEWER PERMIT #:	_____	_____
SEWER CAPACITY:	_____	GPD
SEWER SHED # AND PLANT:	_____	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)	_____

Name	Date
Approved Construction Plan	_____
Traffic	_____
Fire	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



PLANT SCHEDULE			
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
LO	30		QUERCUS VIRGINIANA SOUTHERN LIVE OAK
LBE	12		ULMUS PARVIFOLIA 'BOSQUE' BOSQUE LACEBARK ELM
SMALL EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
WM6	26		MYRTICA CERIFERA WAX MYRTLE
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
BH	134		ILEX CORNUTA 'BURFORDII' BURFORD HOLLY
DYH	76		ILEX VOMITORIA 'NANA' DWARF YAUPOIN
PM2	11		PODOCARPUS MACROPHYLLUS YEW PINE
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
PM	53		MULLENBERGIA CAPILLARIS PINK MUHLY
PM	54		MULLENBERGIA CAPILLARIS PINK MUHLY
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT
CT	83,629 SF	CYNODON DACTYLON 'TIF 419' TIF 419 BERMUDA GRASS	SEED
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT
CENT	13,508 SF	EREMOCHLOA OPHIUROIDES CENTIPEDE SOD	SOD

GARDEN LAKE ESTATES LTD.
PARTNERSHIP
PID: R05418-004-002-000
DB 2668, PG 538
ZONED MFM

COMMUNITY GARDEN AREAS
±0.25 AC

SEED TO EXISTING
VEGETATION
AROUND DITCH

SITE CONTRACTOR RESPONSIBLE FOR
INSTALLING INFILTRATION PLANTS
PER STATE / LOCAL ORDINANCE.

PHASE 2 - 8' X 8' PRE-FABRICATED STORAGE SHED AS
AVAILABLE FROM LOWES OR COMPARABLE SUPPLIER.
MODEL: HEARTLAND 8 FT X 8 FT BELMONT GABLE
ENGINEERED WOOD STORAGE SHED OR APPROVED EQUAL

CITY OF WILMINGTON 5' WIDE MINIMUM
REQUIRED LANDSCAPE ZONE AROUND
TOP OF POND; FOLLOW CITY DETAIL SD
15-16 SHOWN ON THIS SHEET.

SOD INFILTRATION POND TO STABILIZE
UNLESS OTHERWISE NOTED

TRASH COMPACTOR WITH
REQUIRED SCREENING

INCOMING FOOD
TRUCK DELIVERY
WELL

TRUCK PULL
OFF FOR BACK
IN LOADING

SEPARATED TRUCK ACCESS AISLE

EXISTING DITCH
EASEMENT

LAKE BRANCH DRIVE
60' PUBLIC RW

GREENFIELD STREET
65' PUBLIC RW

S 11TH STREET
60' PUBLIC RW

5' WIDE CONCRETE
SIDEWALK

RIGHT OF WAY
CASSEMENT

REQUIRED PARKING
LANDSCAPE AREA, TYP.
GREASE TRAP LOCATED
IN ISLAND

REQUIRED SCREENING FOR
CISTERN COLLECTIONS

PM3 (26)
BH (29)

DYH (7)
LBE (1)
PM (5)

(18) DYH
(12) PM
(2) LBE

(7) DYH
(1) LBE
(9) PM

(22) BH
(5) PM
(1) LBE

WM6 (18)

LO (3)

LO (5)

LO (6)

LO (7)

LO (8)

LO (9)

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FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	11/18/21	12/2/21
REV. 1 ADDITIONAL NOTES ADDED		
REV. 2 REF RESPONSE		

CLIENT INFORMATION:	FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA 1924 CAPITAL BLVD. RALEIGH, NC 27604
PARAMOUNT ENGINEERING	122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846
LANDSCAPE PLAN	THE WILMINGTON FOOD BANK GREENFIELD STREET WILMINGTON, NORTH CAROLINA
PROJECT STATUS:	CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:
DRAWING INFORMATION	DATE: 10/13/21 DESIGNED: JRC DRAWN: JRC CHECKED: JRC
SEAL	10/13/21 1823 ALL ABOUT ENGINEERING
L-2.0	PEI JOB#: 20484.PE