



W. M. JORDAN COMPANY'S ADDENDUM No. 1

PROJECT: THE WILMINGTON FOOD BANK CD SET

DATE: 12/2/21

Please reference this Addendum on the bid form.

1. Reminder to review the "Supplementary Instructions to Bidders". Bids are to be submitted on the **project bid form** per the plans/specifications in conjunction with the trade specific **bid scopes**.
2. Project bid form is included in this Addendum No.1. See plan room.
3. A sample contract and insurance requirements are posted in the plan room for review. Please pay attention to the insurance coverage amounts.
4. Revised civil drawings C-2.0, C-5.0, C-6.4, L-2.0, L-2.1. Included in this Addendum. See plan room.
5. Question: Sheet A6.0 calls out the warehouse exposed ceilings to be painted. Being this is a warehouse area/condition, is that really wanted to be painted? Please advise.
Answer: Painting of warehouse ceiling can be deleted; Typical factory shop prime of steel members to remain. The vertical support columns are to be painted and to be included in BP-09D Painting & Sealed Concrete.
6. Question: Sheet A6.0 calls out the exposed ceilings in rooms 125,126,127 which are janitors closet, and mechanical/electrical rooms. Are these exposed ceilings really wanted to be painted? Please advise.
Answer: Omit ceiling painting in 125,126,127. Note: Janitors closet has partial EGAP ceiling.
7. Question: Finish plans do not indicate any warehouse floor striping, rodent floor striping behind racks, etc. Please confirm.
Answer: Floor striping symbol is shown at south, east and north walls with one note at south wall. Additional notes will be added. BP-09D Painting & Sealed Concrete to include in their pricing.
8. Question: Note #1 on A6.0 calls out painting exposed sprinkler pipe, but unable to locate note indicating exposed duct work gets painted as well in Rooms 103,115,135,136? Please advise.
Answer: Note #1 on A6.0 will be modified as necessary to include additional items; i.e. ductwork. BP-09D Painting & Sealed Concrete to include in their pricing.

9. Question: Sheet A6.0 calls for exposed sprinkler piping to be painted. Does this exclude the exposed sprinkler piping in the warehouse area?
Answer: Warehouse exposed sprinkler piping does not get painted.
10. Question: Sheet A2.1 lists ACT types (ACT-1, ACT-2, ACT-3) however specification 095113 doesn't relay what those types are to be. Please advise.
Answer: Acoustic Panel Ceiling spec has been updated.
11. Question: Sheet A6.0 calls for room 120 Kitchen ceiling to be "Open to structure". Assuming that room would have ACT ceiling based on sheet A2.1. Please confirm.
Answer: Kitchen ceiling is EGAP (ACT-3) ; ceiling finish info on A6.0 has been changed to EGAP.
12. Question: What is the thickness of concrete and stone for the concrete paving for the Food Drop off & pick up area outside the Agency Shopping. Civil & Structural do not indicate thickness/design.
Answer: Use concrete paving design shown for loading dock apron. Structural drawings will be updated to include this. BP-31A Site Demo, Sitework, Grading, Utilities to include the concrete paving at the loading dock and agency shopping locations.
13. Question: Drawings do not indicate any design for security camera systems, access control, intrusion detection, etc. Are we expecting any design or are these to still be included as allowances?
Answer: The design of these systems are typically provided by a vendor selected by the Owner. Allowances for Security systems and access control design will need to remain. We will work with the selected vendor to incorporate their design into our documents as necessary to coordinate the installation of their equipment. WMJ will carry an allowance for the security/access control. BP-26A will need to help coordinate with selected security/access control contractor. BP-26A to include back box and conduit to above ceiling conditions for doors 114A, 114B, 114C, 116, 120D, 135A, 137A, 137B, 137D.
14. Question: Electrical drawing E0.3 note #59 says the telecommunications and data cables will be provided and installed by the owner, however there is specification 270500 Data and Voice Communication which seems to indicate that we are to include. Please advise.
Answer: Disregard note #59 on sheet E0.3; This work will be included in the documents. BP-26A to include in their scope of work.
15. Question: How are the sliding fence gates to be opened? IE: Keypads at the gate entrances? Please advise.
Answer: Selection of controls to be discussed with owner. Typically, there would be a device on a post on each side of the fence. Keypad, access card, or key.
16. Question: Civil drawing C-4.0 shows a sloped loading dock back towards the building, however sheet S2.1 shows a flat loading area. Please advise on which is correct. If flat, please provide correct elevations.
Answer: Follow C-4.0 for loading dock sloping. Follow structural for loading dock slab thickness and associated retaining walls. BP-31A to include the loading dock concrete paving and the concrete paving outside the Agency Shopping area.

17. Question: Sheet C4.0 lists the building FFE @ 21. This doesn't seem to indicate the 3rd party retail space on S2.1 that is now raised 1'6" in that building area?

Answer: The 3rd party retail space will only be raised 6" to 21.50. Structural drawings will be updated. BP-31A to be advised that the 3rd party retail space FFE is raised in that area.

18. Question: What is the thickness of concrete and stone for the concrete paving for the Food Drop off & pick up area outside the Agency Shopping. Civil & Structural do not indicate thickness/design.

Answer: Use concrete paving design shown for loading dock apron. Structural drawings will be updated to include this. BP-31A is to include the concrete paving outside the Agency Shopping area.

19. Question: No tilt up panel joints are shown on the floorplans or elevations. Please advise what the tilt up panel spacing is to be assumed at for bidding purposes of the caulking joints.

Answer: 20' panel widths can be anticipated.

20. Question: BP-07A calls for caulking of all exterior doors to be in this bid package. Please advise if this scope is for the caulking of both sides of exterior doors, or just the exterior side.

Answer: BP-07A to include caulking both sides of the exterior doors in the warehouse location, other locations are exterior caulked. BP-09D Painting to include caulking all interior doors, which also includes HM frames to exposed tilt-up concrete walls.

21. Question: Per BP-07A, caulking is required at the intersection of the warehouse slab to exterior walls. Please advise if caulking is also needed at the intersection of the warehouse slab to the office wall.

Answer: Yes. Please include caulking of warehouse slab to the tilt-up walls on all sides.

22. Question: Specification 107310-2.1-A only lists 2ea acceptable manufacturers. Please advise if CSC Awnings, and Peachtree Protective Covers are also acceptable manufacturers.

Answer: Peachtree and CSC are acceptable.

23. Question: Specifications call for both roller shades and horizontal louver blinds. Unable to locate notes/locations. We assume roller shades at exterior conditions (Less high windows in warehouse) and louver blinds at interior office window locations?

Answer: Basic horizontal blinds on exterior windows in the following rooms;

-Community Meeting Room 115

-All offices with a window; 105, 106, 107, 108, 111, 112, 113, 143, 144, 145

-Conference Room 104

-Mail Room 110

24. Question: Sheet C-2.0 shows site fencings around truck access and Agency Pick-up as 6' high while A0.1 shows 8'. Please advise which is correct.

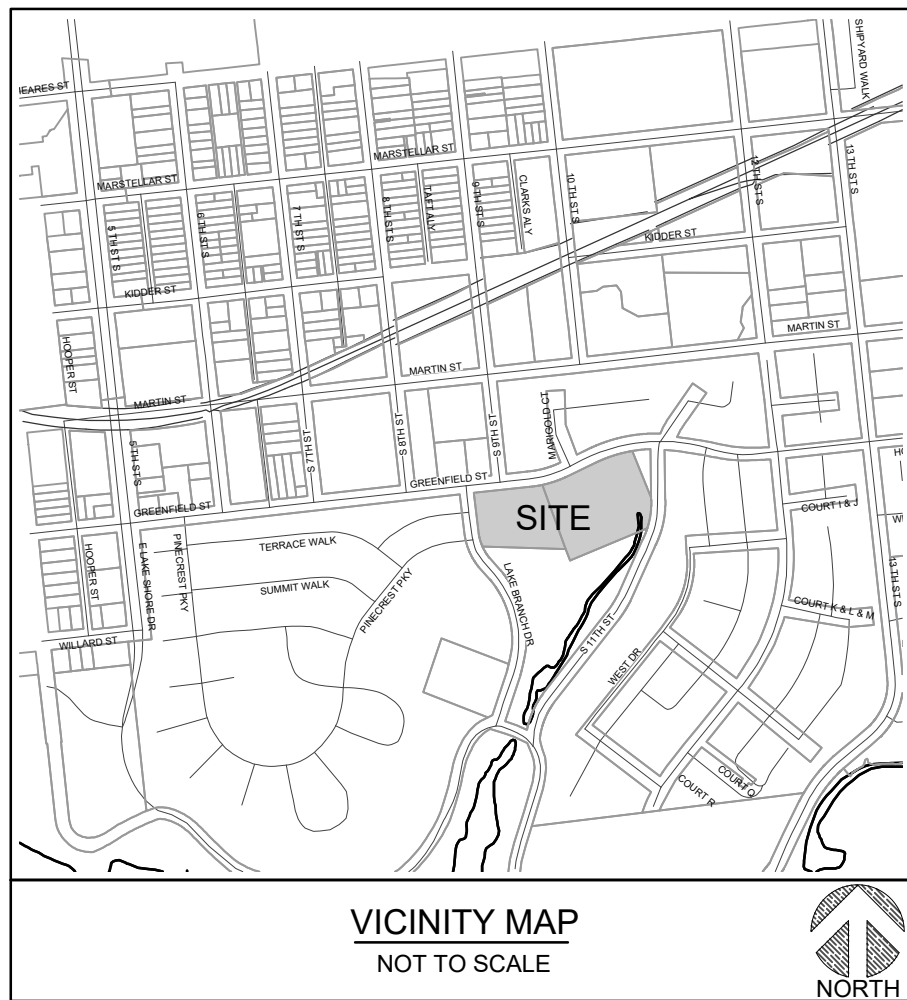
Answer: Sheet C-2.0 is incorrect. The fence around truck access and Agency Pick-up is 8'

25. Question: Specification 221116-3.11-C says that above ground domestic water piping to be copper. Will Uponor Pex-A water piping be acceptable in lieu of copper?

Answer: Pex-A is acceptable for use as above ground water piping. Plumbing contractor to confirm plenum rating and inspection acceptance. See bid form for bid alternate.

26. Question: What type of glass is required in the sectional doors? Insulated, tinted, tempered, low-e, etc.

Answer: Insulated tempered units. no tint.



SITE DATA:

PROJECT ADDRESS: 1000 GREENFIELD STREET
PARCEL ID: R05418-004-004-000
R05418-004-001-000

CURRENT ZONING: UMX

PROPOSED USE: FOOD PANTRY & DISTRIBUTION

PROJECT SITE AREA: ± 5.141 ACRES (± 223,942SF)

OWNER INFORMATION: FOOD BANK OF CENTRAL & EASTERN NC
1924 CAPITAL BLVD
RALEIGH, NC 27604

FLOOD INFORMATION: THIS PARCEL IS NOT LOCATED IN A FEMA FLOOD ZONE

CAMA LAND USE CLASSIFICATION: URBAN

PROPOSED BUILDING SIZE: ± 32,000 SF

PROPOSED LOT COVERAGE: 14.3% (± 32,000 SF / ± 223,942 SF)

BUILDING CONSTRUCTION TYPE: TYPE 5B-SPRINKLED

BUILDING DISTURBED AREA: ±140,000 SF

DIMENSIONAL REQUIREMENTS:
UMX DISTRICT
SITE DOES NOT BORDER SINGLE FAMILY RESIDENTIAL DISTRICTS - NO MINIMUM BUILDING SETBACKS ARE REQUIRED

MINIMUM LOT AREA: NONE INSIDE 1945
CORPORATE LIMIT; 5 AC. OUTSIDE

MAXIMUM FRONT SETBACK: 10'
MAXIMUM BUILDING HEIGHT: 35' or 2-STORIES
PROPOSED BUILDING HEIGHT: 30' / 1-STORY

*SEE PLAN FOR PROPOSED SETBACKS

PARKING DATA:
THERE ARE NO MINIMUM PARKING REQUIREMENTS PARKING SHALL NOT EXCEED 1 SPACE / 200 SF (SOCIAL SERVICES)

BUILDING SF: ±32,000 SF
MAX PARKING ALLOWED: 160 SPACES
32,000 / 200
TOTAL PARKING PROVIDED: 73 SPACES

BICYCLE PARKING (SEC. 18-558)
TOTAL REQUIRED: 32 SPACES
1 SPACES / 1,000 SF
TOTAL PROVIDED: 35 SPACES

ADA PARKING
TOTAL REQUIRED: 3 SPACES
TOTAL PROVIDED: 4 SPACES

TRAFFIC / TRIP GENERATION:
1. THERE ARE NO COMPARABLE USES IN THE TRIP GENERATION BOOK, HOWEVER THE INTENDED USE IS EXPECTED TO HAVE MINIMAL TRAFFIC IMPACT
2. NO TIA IS REQUIRED

IMPERVIOUS DATA:

EXISTING IMPERVIOUS: 43,164 SF
EXISTING IMPERVIOUS TO BE REMOVED: 43,164 SF
PROPOSED BUILDINGS: 32,000 SF
PROPOSED PARKING & SIDEWALKS: 54,121 SF
TOTAL NEW IMPERVIOUS: 86,121 SF (38%)
TOTAL NET IMPERVIOUS: 42,957 SF

HISTORICAL & ARCHAEOLOGY NOTES
1. NO KNOWN HISTORIC OR ARCHEOLOGICAL SITES EXIST.

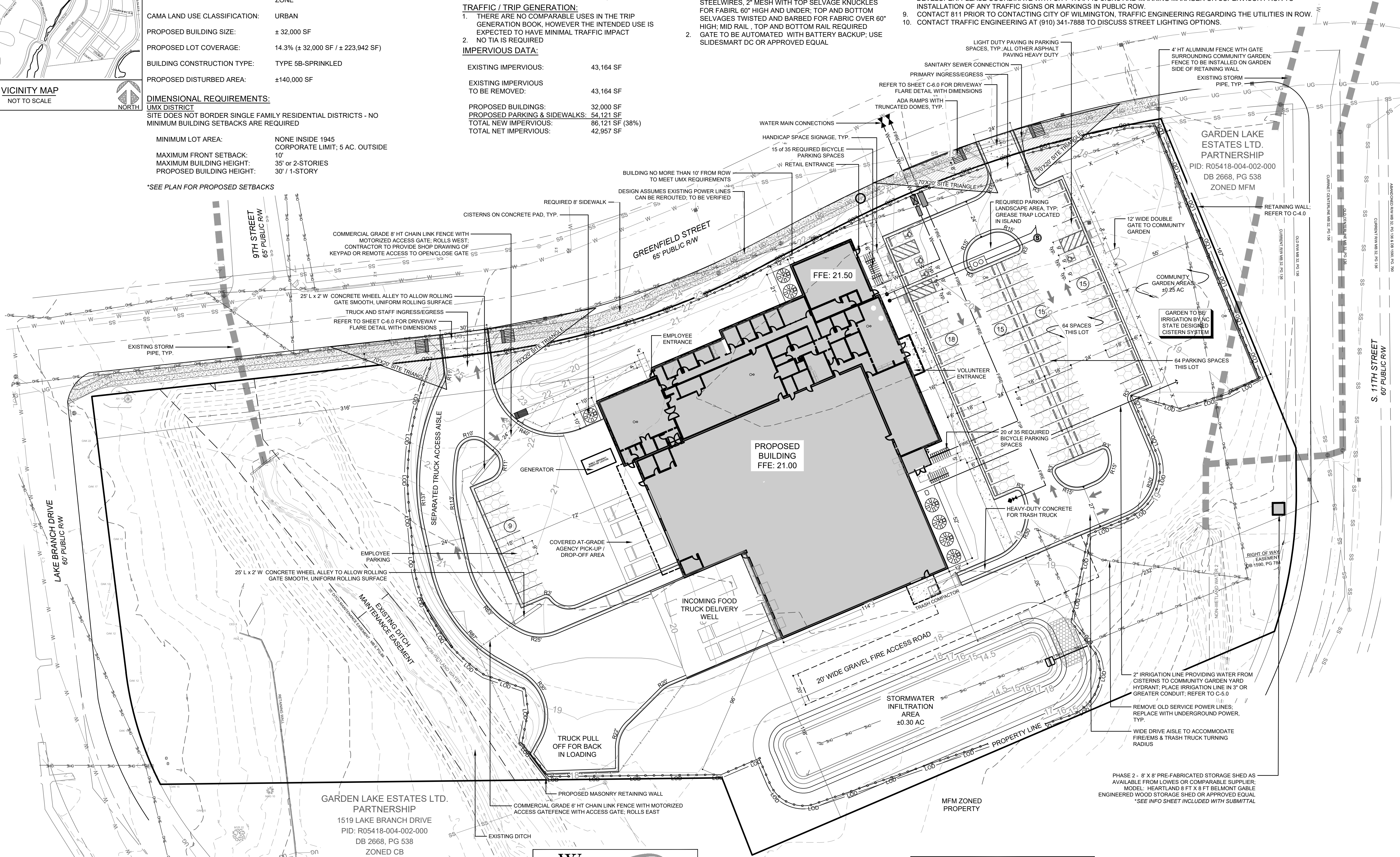
CONSERVATION RESOURCES
1. NO KNOWN CONSERVATION RESOURCES EXIST ON SITE. ADDITIONAL DETERMINATION WILL OCCUR DURING CITY REVIEW PROCESS

CAMA AREAS OF ENVIRONMENTAL CONCERNS
1. NO KNOWN CAMA AEC EXIST ON SITE

SOLID WASTE
1. SOLID WASTE WILL BE HANDLED WITH THE PROPOSED TRASH COMPACTOR AND REMOVAL BY THE CITY OF WILMINGTON

FENCE NOTE
1. CHAIN LINK FENCE TO BE 9 GA. OR HIGHER GALVANIZED STEELWIRES, 2" MESH WITH TOP SELVAGE KNUCKLES FOR FABRIL 60" HIGH AND UNDER; TOP AND BOTTOM SELVAGES TWISTED AND BARBED FOR FABRIC OVER 60" HIGH; MID RAIL, TOP AND BOTTOM RAIL REQUIRED
2. GATE TO BE AUTOMATED WITH BATTERY BACKUP; USE SLIDESMART DC OR APPROVED EQUAL

GENERAL NOTES
1. SITE PLAN WAS REVIEWED IN A CONCEPTUAL TRC REVIEW 3/18/21. THIS PLAN ADDRESSES COMMENTS RECEIVED AT THAT MEETING, BUT IS NOT AN APPROVED PLAN.
2. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
3. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
4. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
5. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET SECTION 510 REQUIREMENTS OF THE 2018 NC FIRE CODE.
6. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
7. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' PER SECTION 18-558 COW LDC.
8. ANY REQUIRED INSTALLATION OR RELOCATION OF TRAFFIC SIGNS IS THE RESPONSIBILITY OF THE PROJECT DEVELOPER. PLEASE COORDINATE WITH CITY TRAFFIC SIGNS AND MARKING MANAGER OR SUPERVISOR PRIOR TO INSTALLATION OF ANY TRAFFIC SIGNS OR MARKINGS IN PUBLIC ROW.
9. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
10. CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.



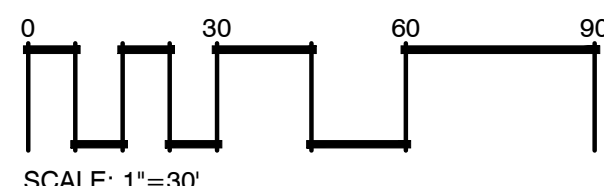
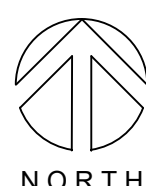
GARDEN LAKE ESTATES LTD. PARTNERSHIP
1519 LAKE BRANCH DRIVE
PID: R05418-004-002-000
DB 2668, PG 538
ZONED CB

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

NC DENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

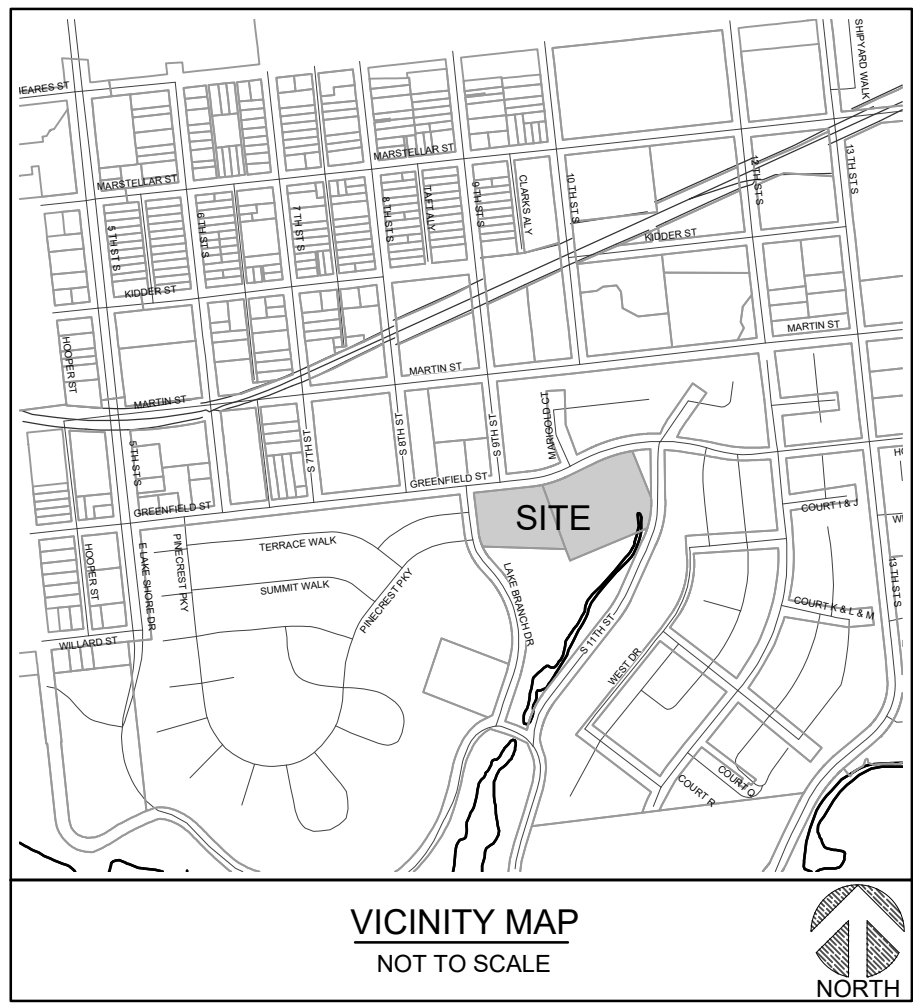
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:		11/18/21
REV. 1 ADDITIONAL NOTES ADDED		
CLIENT INFORMATION:		
FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA 1924 CAPITAL BLVD. RALEIGH, NC 27604		
PROJECT STATUS:		
CONCEPTUAL LAYOUT: _____ PRELIMINARY LAYOUT: _____ RELEASED FOR CONST: _____		
DRAWING INFORMATION:		
DATE: 10/13/21 DESIGNED: JAR DRAWN: JAR CHECKED: JAR		
SEAL:		
CITY OF NORTH CAROLINA ENGINEER GERALD J. BURTS 050783 10/13/2021		
C-2.0		
PEI JOB#: 20484.PE		

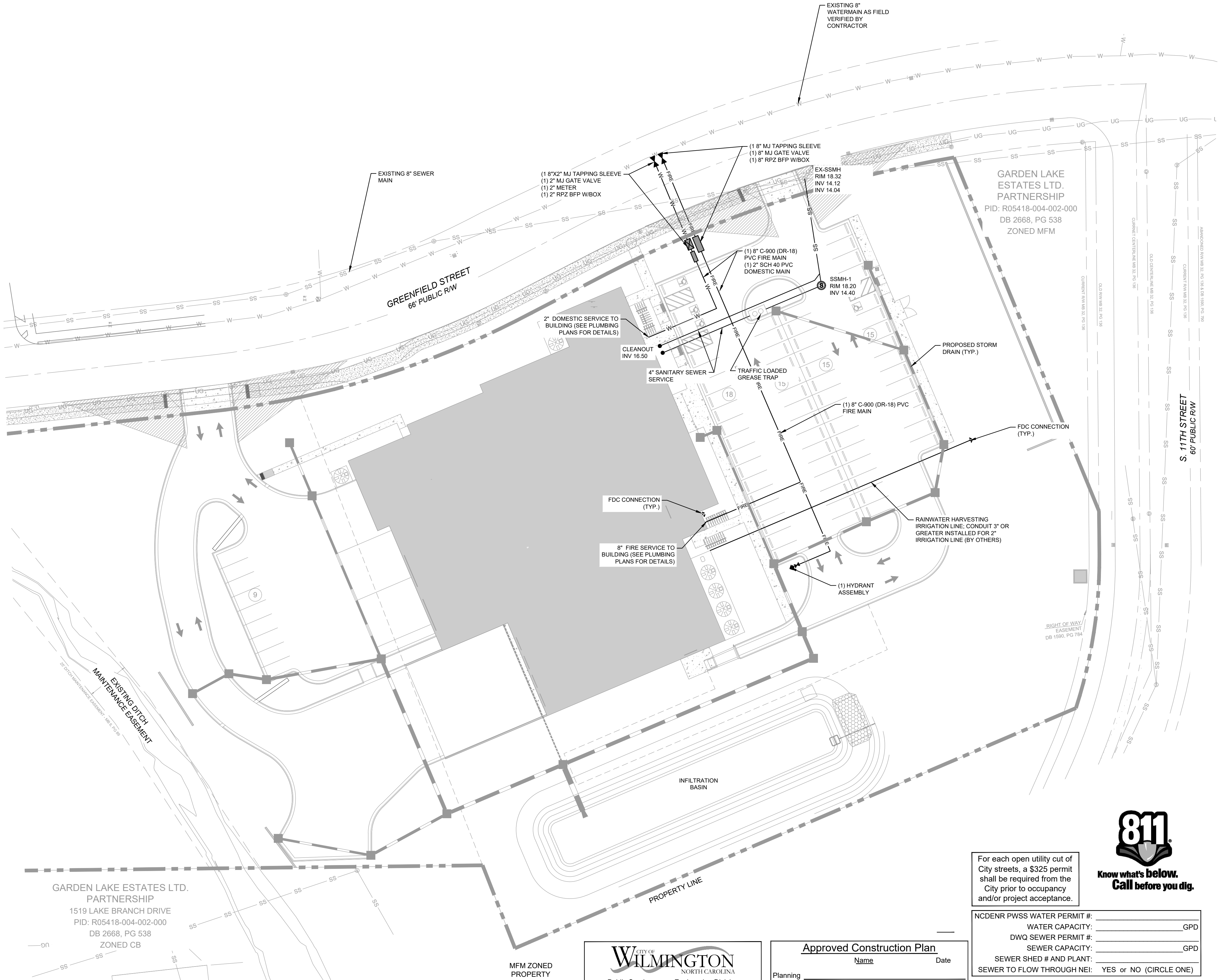
FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



- UTILITY NOTES: (NCAC 15A.02T.0305 / T15A.18C.0906)**
1. WATER MAINS SHALL BE LAID SO AS TO PROVIDE A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM SEWERS. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, THE WATER MAIN CAN BE INSTALLED AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, EITHER IN A SEPARATE TRENCH, OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 2. WHEN CROSSING A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT LEAST 18 INCHES ABOVE THE SEWER. IF CONDITIONS EXIST SUCH THAT THIS SEPARATION CANNOT BE ACHIEVED, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH JOINTS THAT MEET WATER MAIN STANDARDS. THE DUCTILE IRON PIPE SHALL EXTEND 10 FEET ON EACH SIDE OF THE CROSSING WITH A SECTION OF WATER MAIN PIPE CENTERED ON THE CROSSING.
 3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
 4. WHERE VERTICAL CLEARANCE IS LESS THAN 24" BETWEEN SANITARY SEWER AND STORM DRAIN, SANITARY SEWER SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.
 5. WHERE VERTICAL CLEARANCE IS LESS THAN 18" BETWEEN WATER MAIN AND STORM DRAIN, WATER MAIN SHALL BE DUCTILE IRON PIPE FOR A MINIMUM OF 10' EITHER SIDE OF CROSSING AND STORM DRAIN SHALL BE RC PIPE.

- WATER & SEWER SERVICE NOTE:**
1. CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES IN ACCORDANCE WITH CFPWA STANDARD DETAILS AND SPECIFICATIONS.
- FIRE & LIFE SAFETY NOTES:**
1. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE AND PRIOR TO CONSTRUCTION OF THE BUILDINGS WITHIN THE DEVELOPMENT.
 2. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
 3. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
 4. CONSTRUCTION TYPES ARE V-A AND V-B AND ALL MULTI-FAMILY BUILDINGS ARE SPRINKLED. EACH OF THE TOWNHOMES HAS A 13R SPRINKLER SYSTEM. THE CLUBHOUSE, LEASING CENTER, AND MAINTENANCE ARE NOT SPRINKLED.
 5. LANDSCAPING OR PARKING CAN NOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS AND FDC.
 6. HYDRANTS MUST BE WITHIN 150' OF THE FDC. THE FDC MUST BE WITHIN 40' OF THE FIRE APPARATUS PLACEMENT.
 7. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
 8. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION (910-343-0696).
 9. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED, FIRE SPRINKLER AND ALARM CONTRACTORS/INSTALLERS SHALL COORDINATE TO RUN WIRING FOR TAMPER SWITCH.
 10. ALL HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCES AND CFPWA STANDARDS.
 11. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD SEWER NOTES:**
1. SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
 2. WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE AT R/W LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 3. ALL SERVICES TYING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF CLASS 50, DIP, WITH PROTECTO 401 CERAMIC EPOXY LINING.
 4. MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
 5. NO FLEXIBLE COUPLINGS SHALL BE USED.
 6. ALL STAINLESS STEEL FASTENERS SHALL BE 316.
 7. CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS. WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.

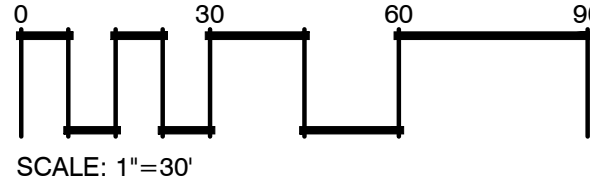


CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

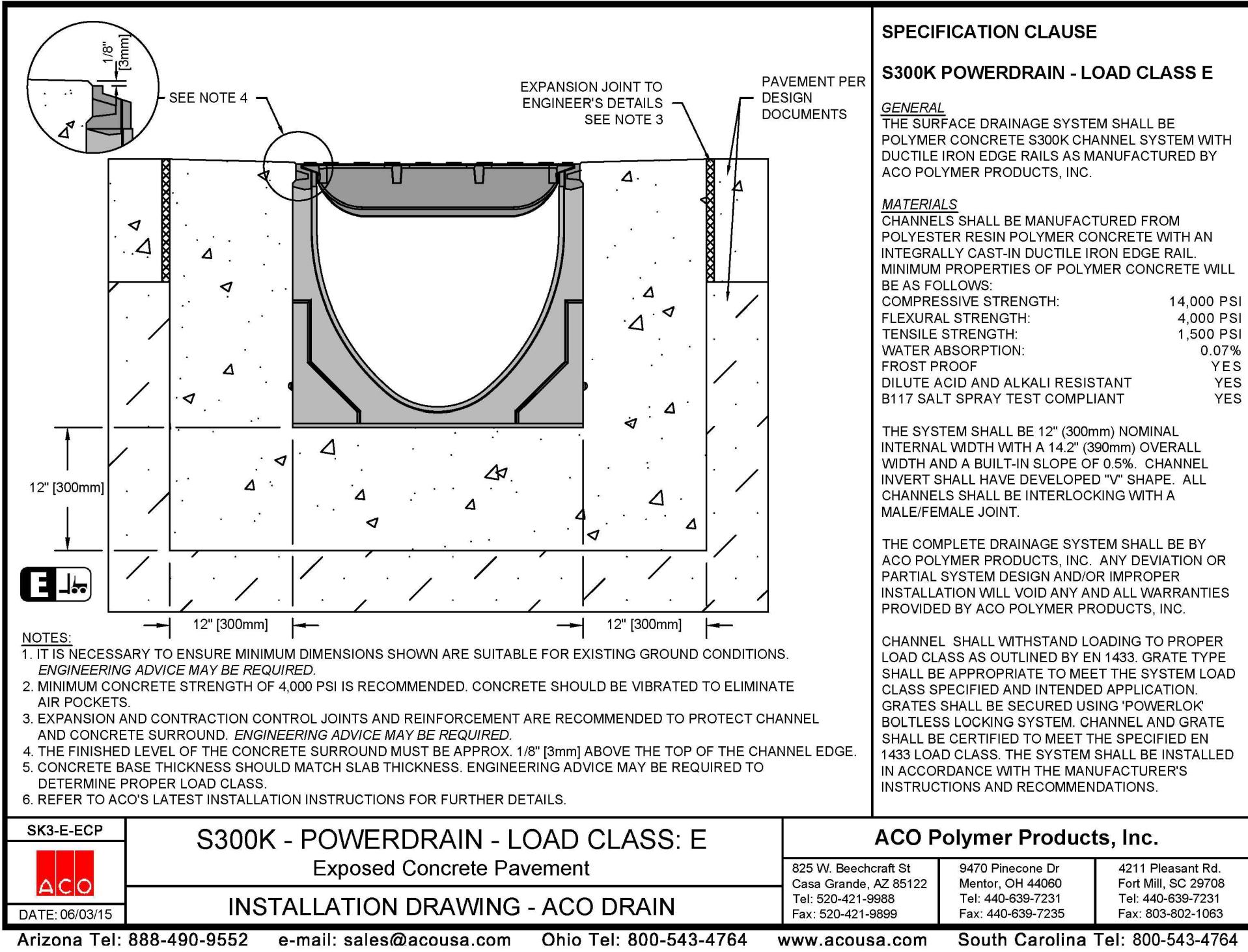
For each open utility cut out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	REV. 1 ADDITIONAL NOTES ADDED	11/18/21
CLIENT INFORMATION:		
FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA 1924 CAPITAL BLVD. RALEIGH, NC 27604		
PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846		
UTILITY PLAN THE WILMINGTON FOOD BANK GREENFIELD STREET WILMINGTON, NORTH CAROLINA		
PROJECT STATUS: CONCEPTUAL LAYOUT: PRELIMINARY LAYOUT: RELEASED FOR CONST:	DRAWING INFORMATION DATE: 10/13/21 DESIGNED: GJB DRAWN: GJB CHECKED: GJB	SEAL NORTH CAROLINA Professional Engineer 050783 GERALD J. BURG 10/13/2021
C-5.0 PEI JOB#: 20484.PE		

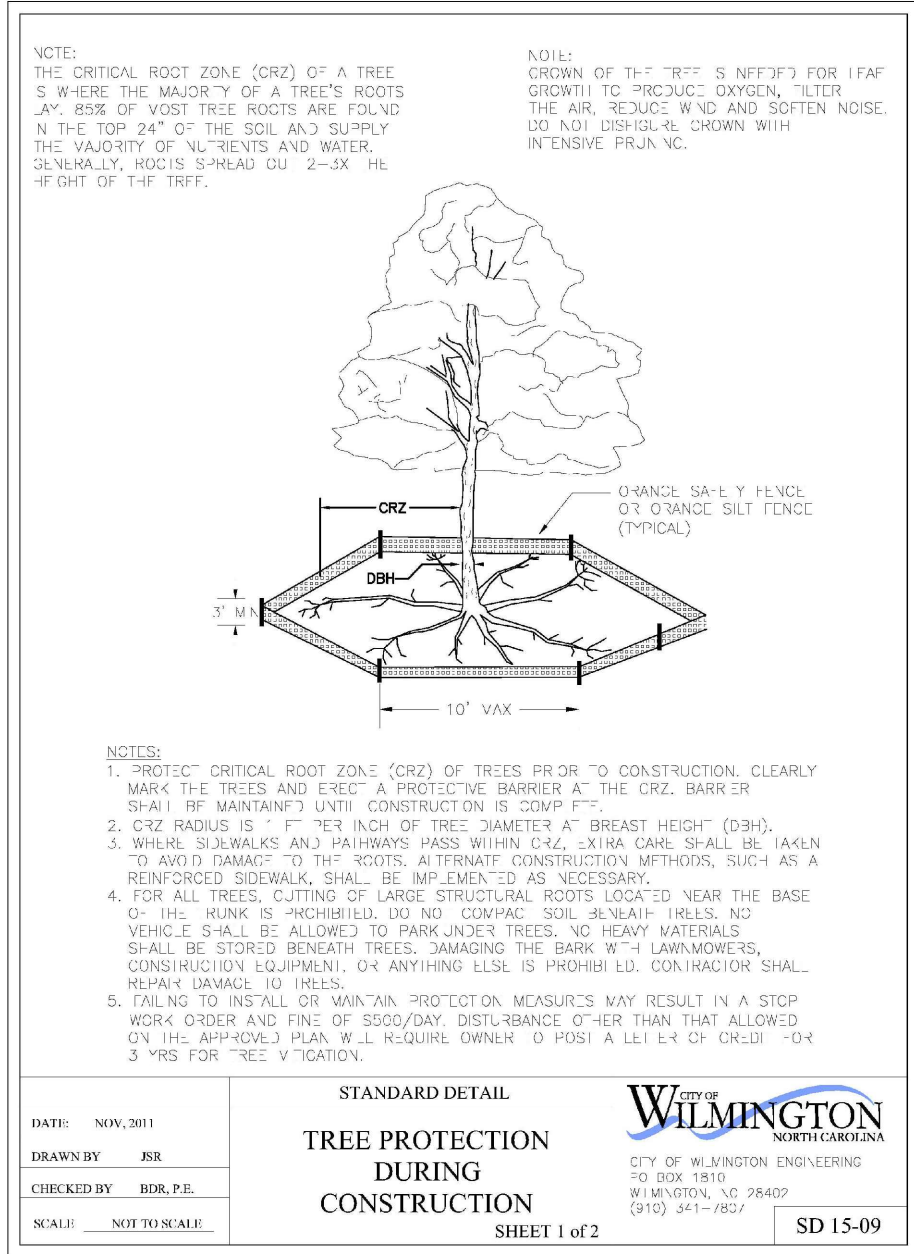
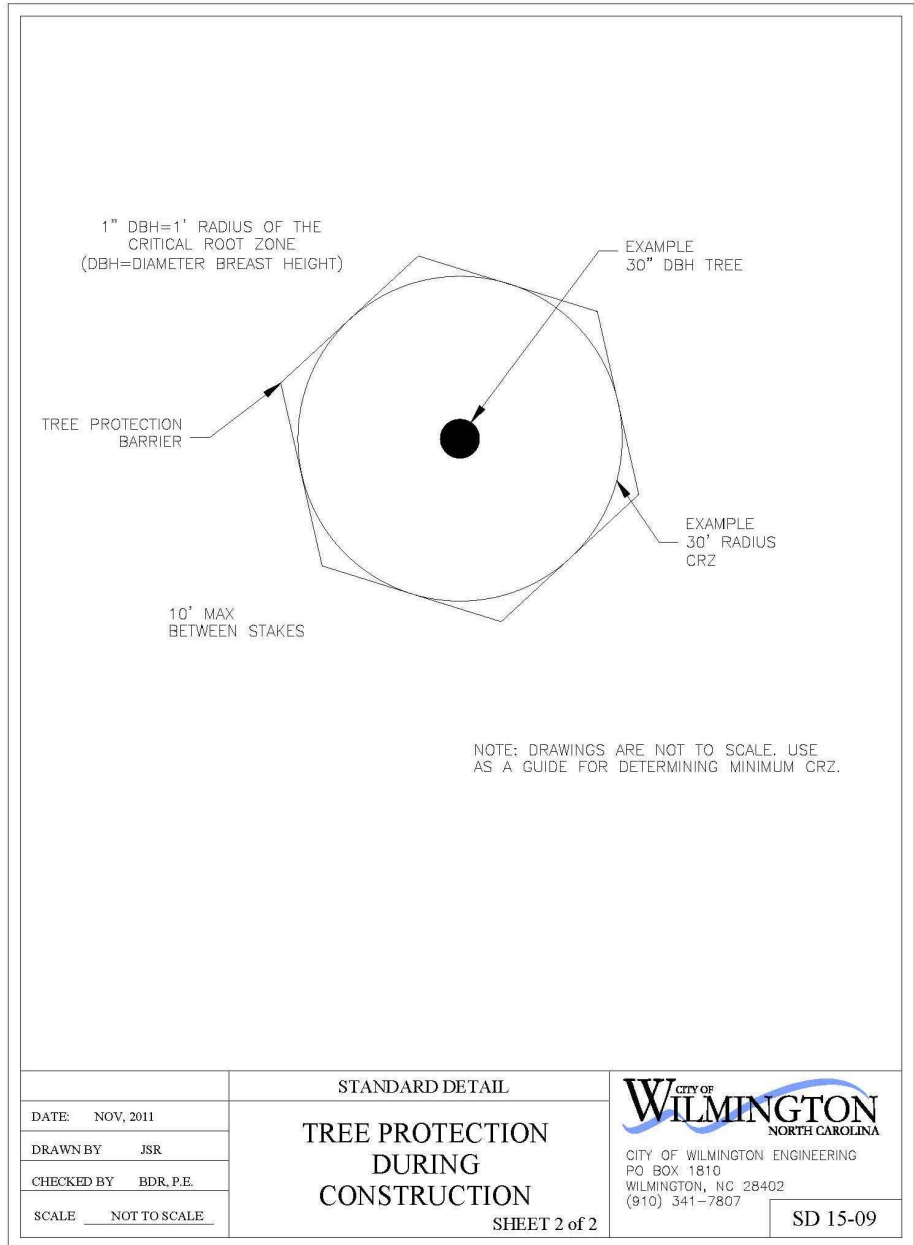
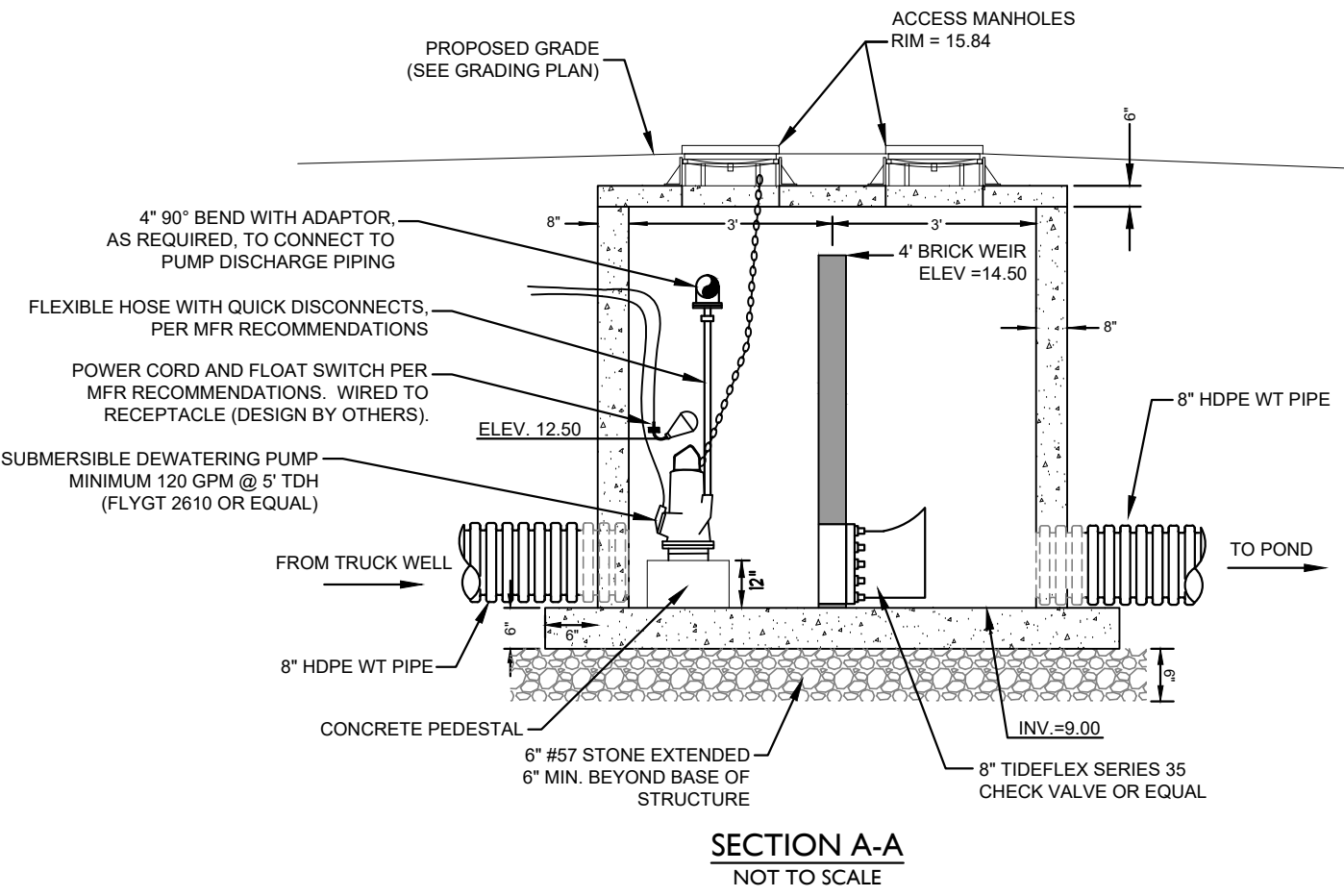
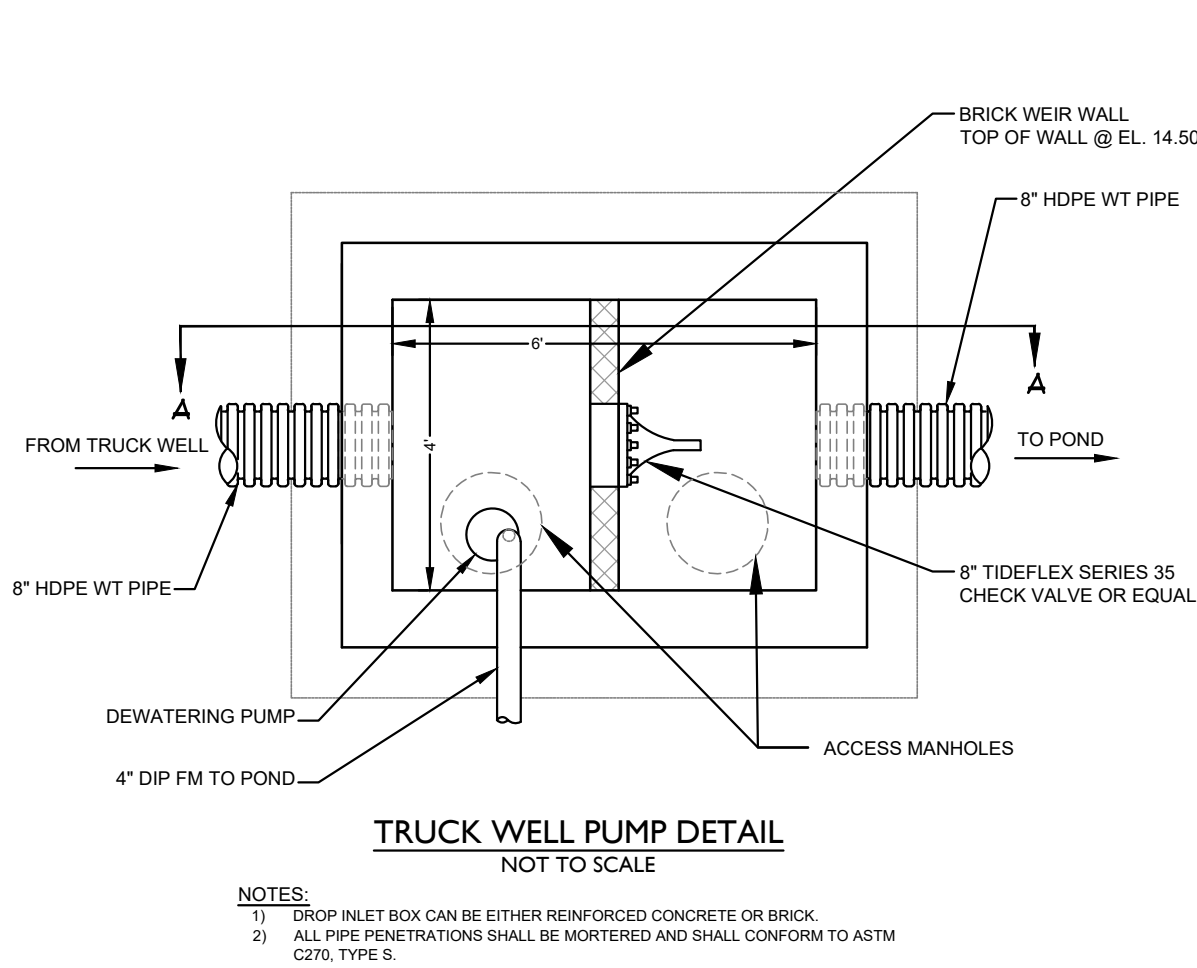


TRENCH DRAIN DETAIL

NOTES:

SK3-010 TO SK3-040

WITH SK3-040 AT END 'D' END CAP OUTLET 'D'



NCDENR PWSS WATER PERMIT #:

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #:

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT:

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON CITY OF WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: _____ Permit # _____

Signed: _____

Approved Construction Plan

Name _____ Date _____

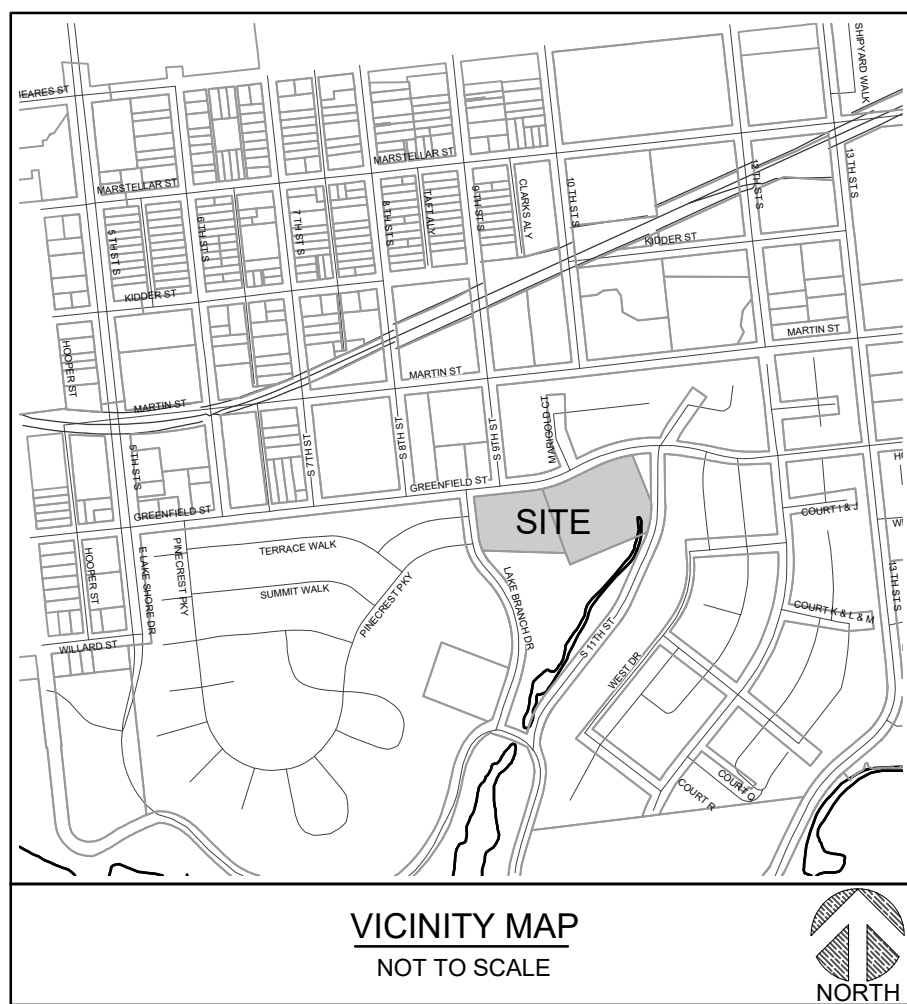
Planning _____

Traffic _____

Fire _____







FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

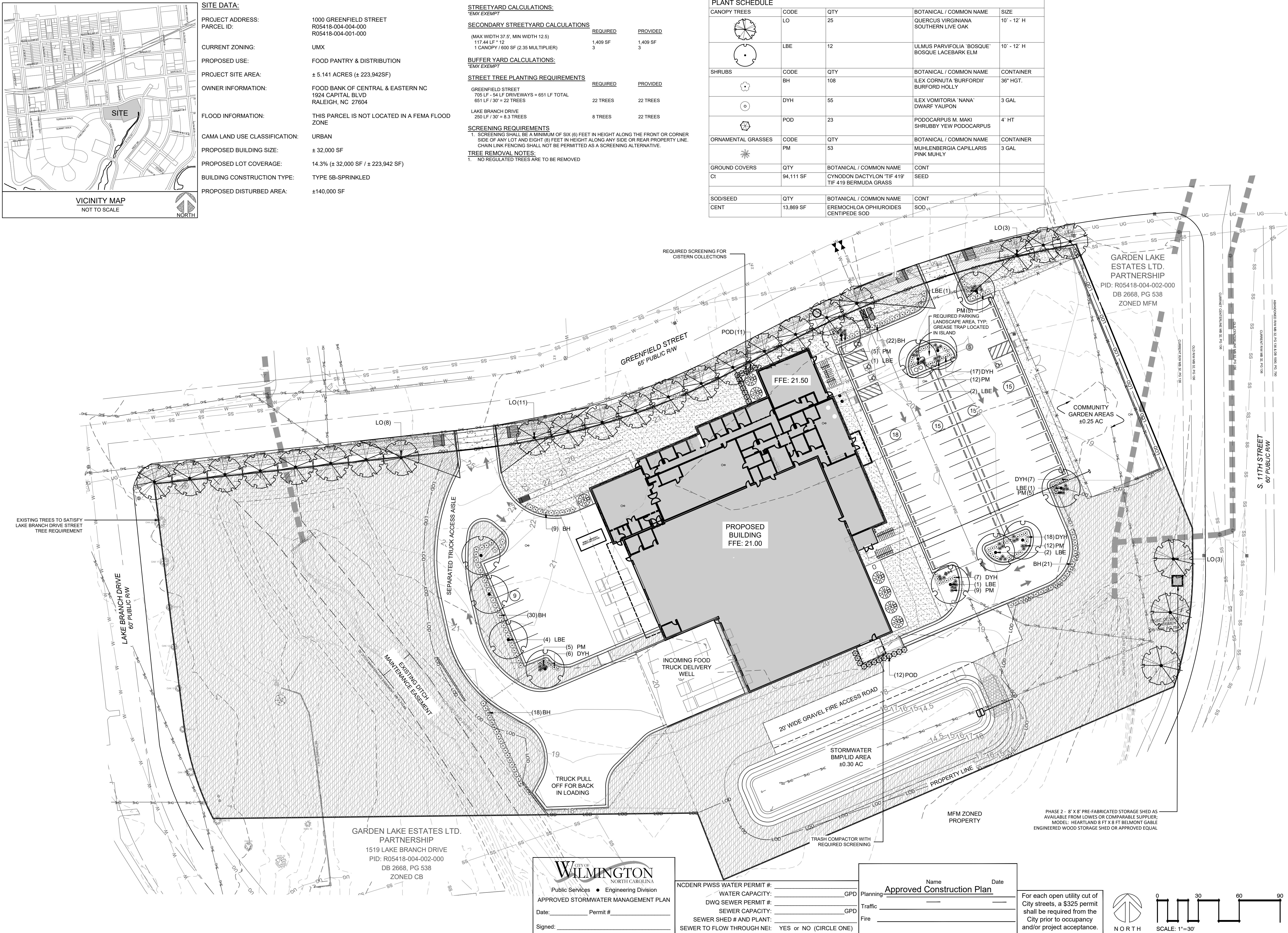
REVISIONS:		REV. 1	ADDITIONAL NOTES ADDED	11/18/21
CLIENT INFORMATION:				
FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA				
1924 CAPITAL BLVD.				
RALEIGH, NC 27604				
PARAMOUNT ENGINEERING				
122 Cinema Drive				
Wilmington, North Carolina 28403				
(910) 791-6707 (O) (910) 791-6760 (F)				
NC License #: C-2846				
DETAILS				
THE WILMINGTON FOOD BANK				
GREENFIELD STREET				
WILMINGTON, NORTH CAROLINA				
PROJECT STATUS:		CONCEPTUAL LAYOUT:		
FINAL DESIGN:		PRELIMINARY LAYOUT:		
DRAWING INFORMATION		DATE:		
10/13/21		DESIGNED:		
PEI		CHECKED:		
PEI		PEI		
SEAL				
				
C-6.4				
PEI JOB#: 20484 PE				



<u>SITE DATA:</u>	
PROJECT ADDRESS:	1000 GREENFIELD STREET
PARCEL ID:	R05418-004-004-000 R05418-004-001-000
CURRENT ZONING:	UMX
PROPOSED USE:	FOOD PANTRY & DISTRIBUTION
PROJECT SITE AREA:	± 5.141 ACRES (± 223,942SF)
OWNER INFORMATION:	FOOD BANK OF CENTRAL & EASTERN NC 1924 CAPITAL BLVD RALEIGH, NC 27604
FLOOD INFORMATION:	THIS PARCEL IS NOT LOCATED IN A FEMA FLOOD ZONE
CAMA LAND USE CLASSIFICATION:	URBAN
PROPOSED BUILDING SIZE:	± 32,000 SF
PROPOSED LOT COVERAGE:	14.3% (± 32,000 SF / ± 223,942 SF)
BUILDING CONSTRUCTION TYPE:	TYPE 5B-SPRINKLED
PROPOSED DISTURBED AREA:	±140,000 SF

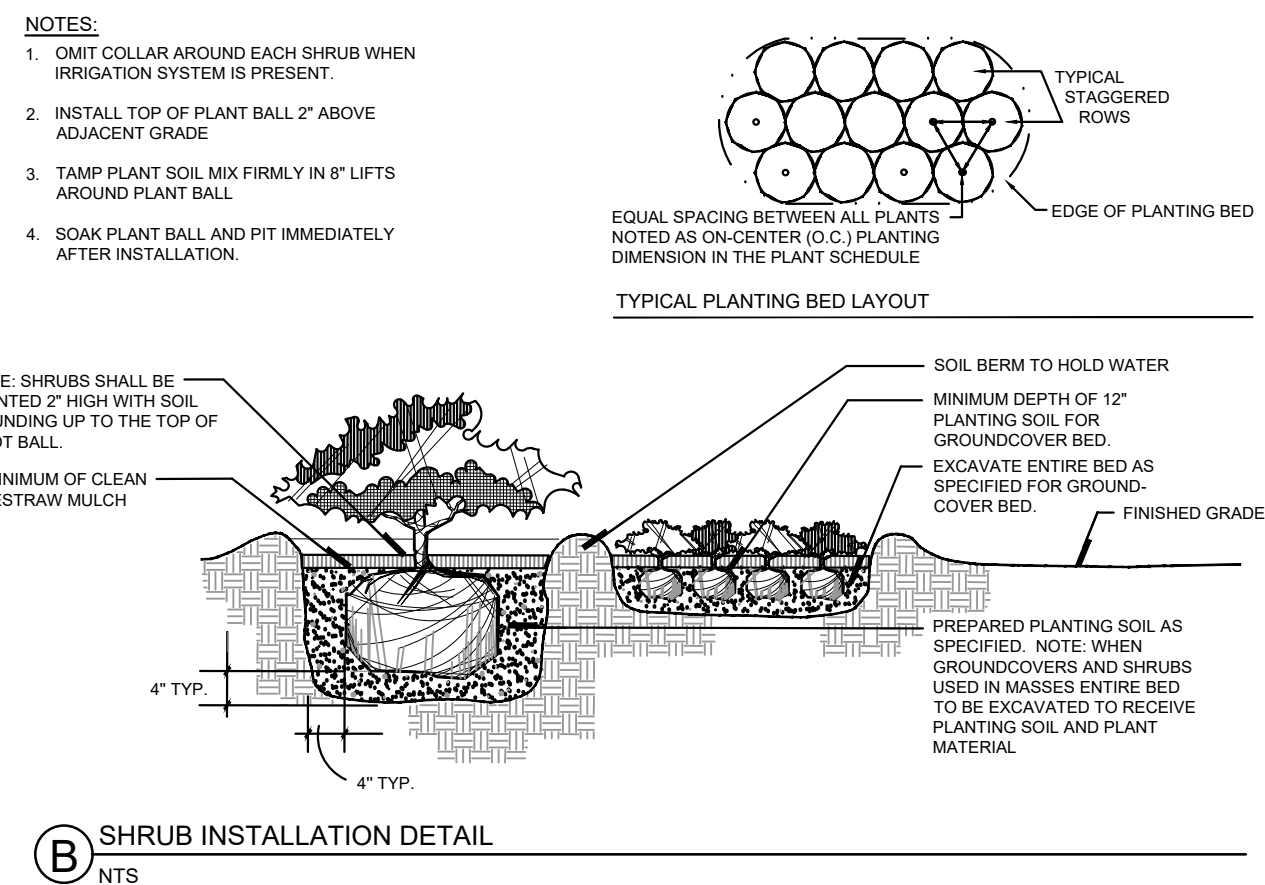
<u>STREETYARD CALCULATIONS:</u> <i>*EMX EXEMPT</i>		
<u>SECONDARY STREETYARD CALCULATIONS</u>		
(MAX WIDTH 37.5', MIN WIDTH 12.5') 117.44 LF = 12 1 CANOPY / 800 SF (2.35 MULTIPLIER)	REQUIRED 1.409 SF 3	PROVIDED 1.409 SF 3
<u>BUFFER YARD CALCULATIONS:</u> <i>*EMX EXEMPT</i>		
<u>STREET TREE PLANTING REQUIREMENTS</u>		
GREENFIELD STREET 705 LF = 54 LF DRIVEWAYS + 651 LF TOTAL 651 LF / 30' = 22 TREES	REQUIRED 22 TREES	PROVIDED 22 TREES
LAKE BRANCH DRIVE 250 LF / 30' = 8.3 TREES	22 TREES	22 TREES
<u>SCREENING REQUIREMENTS</u>		
1. SCREENING SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT ALONG THE FRONT & SIDE OF ANY LOT AND EIGHT (8) FEET IN HEIGHT ALONG ANY SIDE OR REAR PROPERTY LINE. SCREENING SHALL NOT BE PERMITTED AS A SCREENING ALTERNATIVE.		
<u>TREE REMOVAL NOTES:</u>		
1. NO REGULATED TREES ARE TO BE REMOVED		

PLANT SCHEDULE				
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	LO	25	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	10' - 12' H
	LBE	12	ULMUS PARVIFOLIA 'BOSQUE' BOSQUE LACEBARK ELM	10' - 12' H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	BH	108	ILEX CORNUTA 'BURFORDII' BURFORD HOLLY	36" HGT.
	DYH	55	ILEX VOMITORIA 'NANA' DWARF YAUPOIN	3 GAL
	POD	23	PODOCARPUS M. MAKI SHRUBBY YEW PODOCARPUS	4' HT
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	PM	53	MUHLENBERGIA CAPILLARIS PINK MUHLY	3 GAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	
CI	94,111 SF	CYNODON DACTYLON 'TIF 419' TIF 419 BERMUDA GRASS	SEED	
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	
CENT	13,869 SF	EREMOCHLOA OPHIOIDES CENTIPEDE SOD	SOD	



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS PRELIMINARY LAYOUT FINAL DESIGN PRELIMINARY LAYOUT PREPARED FOR CONSTRUCTION	DRAWING INFORMATION DATE: 10/13/21 DESIGNED: ARE CHECKED: ARE	LANDSCAPE PLAN THE WILMINGTON FOOD BANK GREENFIELD STREET WILMINGTON, NORTH CAROLINA		PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License # C-2846	FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA 1924 CAPITAL BLVD. RALEIGH, NC 27604	CLIENT INFORMATION:	REVISIONS:	11/18/21
							REV. 1 ADDITIONAL NOTES ADDED	



MULCH NOTES:
1. ALL MULCH SHALL BE PINE STRAW APPLIED AT 3" THICK MIN., 4" THICK MAX.

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

L-2.0		PROJECT STATUS CONCEPTUAL LAYOUT FINAL LAYOUT: RELEASED FOR CONST.		LANDSCAPE PLAN THE WILMINGTON FOOD BANK GREENFIELD STREET WILMINGTON, NORTH CAROLINA	<p>PARAMOUNT ENGINEERING</p> <p>122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6760 (F) NC License #: C-2846</p>	CLIENT INFORMATION: FOOD BANK OF CENTRAL & EASTERN NORTH CAROLINA 1924 CAPITAL BLVD. RALEIGH, NC 27604	REVISIONS: REV. # ADDITIONAL NOTES ADDED	11/18/21
		DRAWING INFORMATION DATE: 10/13/21 DESIGNED BY: TAREK AMAR CHECKED BY: ARIE AMAR						
PEI JOB#: 20484.PE								